

GENERAL NOTES

1. THIS SITE PLAN IS DERIVED FROM THE SURVEY PREPARED BY MINICIPLE LAND SURVEY, P.C. THE CONTRACTOR SHALL VERIFY ALL INFORMATION SHOWN. SKIDMORE, OWINGS & MERRILL LLP MAKES NO REPRESENTATION AS TO THE ACCURACY OR COMPLETENESS OF THE SURVEY INFORMATION. FOR SURVEY INFORMATION REFER TO Y-SERIES DRAWINGS.
2. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-005.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-006.
5. THERE ARE NO BUILDINGS WITHIN 50' OF THE SITE MARKED AS LANDMARKS BY THE NYC LANDMARKS PRESERVATION COMMISSION.



MANHATTAN WEST:  
NORTH TOWER  
401 Ninth Avenue, New York, NY 10001  
Client

Brookfield

Brookfield Place  
250 Vesey Street, 15th Floor, New York, NY 10021

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**SOM**  
Skidmore, Owings & Merrill LLP  
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**Mueser Rutledge Consulting Engineers**  
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250 State Street #F1, North Haven, CT 06473

Blast Consultant  
**Weidinger Associates, Inc.**  
40 Wall Street, New York, NY 10005

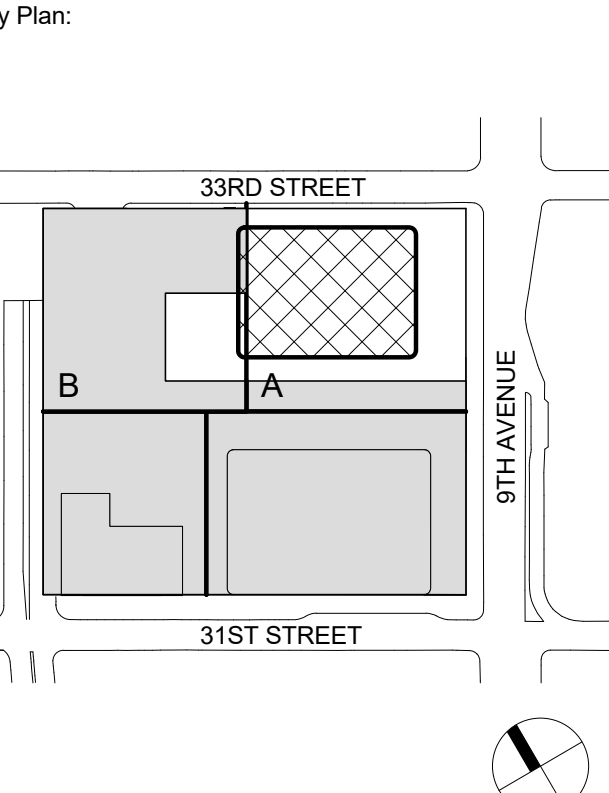
Acoustical Consultant  
**Cerami & Associates**  
404 Fifth Avenue #8, New York, NY 10016

Vibration Consultant  
**Wilson, Uhrig & Associates, Inc.**  
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Wind Tunnel Consultant  
**Rowan Williams Davies & Irwin Inc.**  
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Seal & Signature



|             |             |                            |
|-------------|-------------|----------------------------|
| 3           | 23 AUG 2017 | ISSUED FOR DOB APPROVAL    |
| 2           | 22 APR 2016 | ISSUED FOR PAA             |
| 1           | 21 JUL 2015 | ISSUED FOR BUILDING PERMIT |
| No.         | Date        | Description                |
| Sheet Name: |             |                            |

SITE PLAN



|                     |                            |
|---------------------|----------------------------|
| Project No.: 207150 | B-SCAN Sheet No.: A-001.02 |
| Date: 23 AUG 2017   | Sheet No.: A-001           |
| Scale: 1" = 20'-0"  | Page No.: 1 OF 1           |
| File No.: A-001     |                            |



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2. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-005.
3. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-006.
4. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
5. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
7. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPPFA/SCOTEL SERVICE DRAWINGS FOR LOCATIONS OR ALL CEILING/WALL MOUNTED DEVICES.
8. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
9. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
10. REFER TO MEPPF DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION ROOM, RISER AND EQUIPMENT DESIGNATIONS.



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Wind Tunnel Consultant  
**Rowan Williams Davies & Irwin Inc.**  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8

Warning: It is a violation of the New York State Architecture Law, §16-150, for persons, unless they are acting under the direction of a Licensed Architect, to alter this stamp in any way.

Key Plan:



Seal & Signature:



Project No.: 207150  
Date: 23 AUG 2017  
Scale: 1" = 20'-0"

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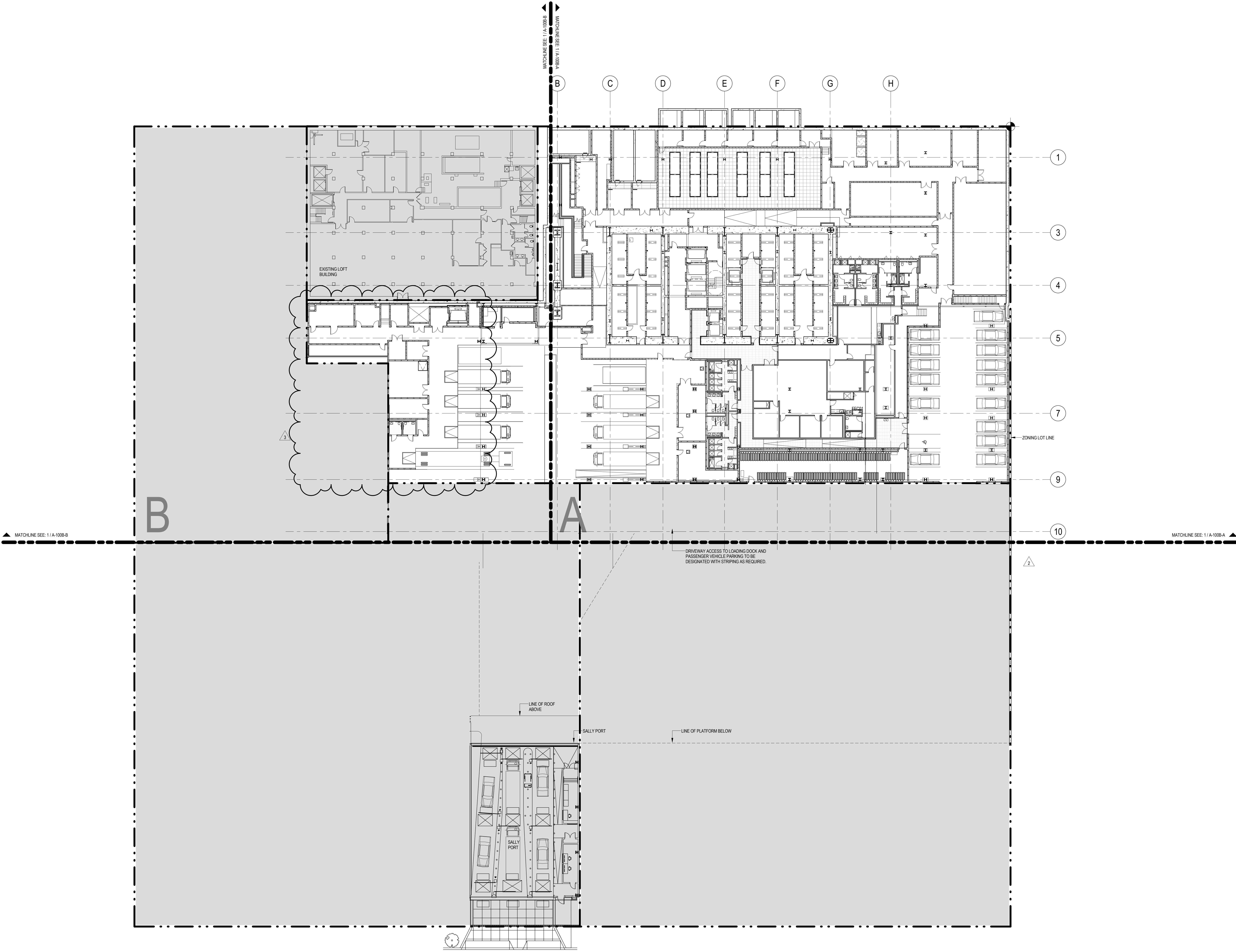
KEY PLAN -  
CELLAR B

Project No.: 207150  
Date: 23 AUG 2017  
Scale: 1" = 20'-0"

Sheet No.: A-006  
Page No.: 3 OF 25

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Sheet No.: A-006  
Page No.: 3 OF 25





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4. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
5. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
6. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPPFA/SCOTEL SERVICE DRAWINGS FOR LOCATIONS OR ALL CEILING WALL MOUNTED DEVICES.
7. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
8. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
9. REFER TO MEPPF DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION ROOM, RISER AND EQUIPMENT DESIGNATIONS.



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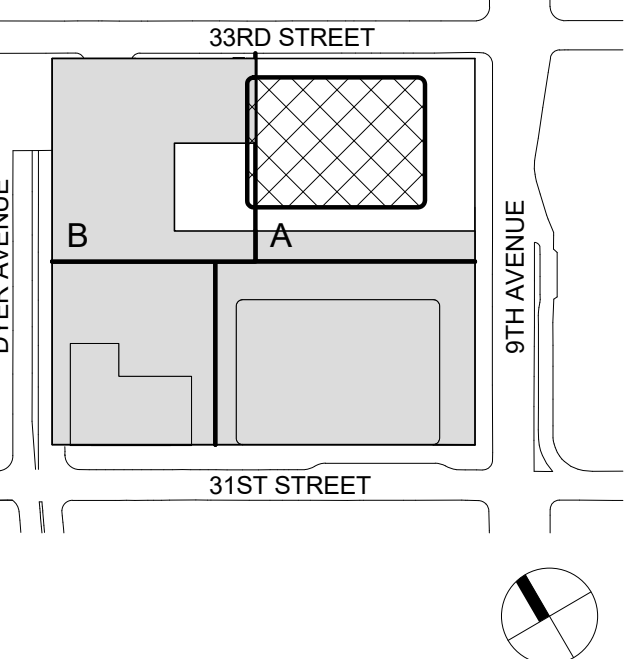
Facade Maintenance Consultant

Entek Engineering LLC  
166 Ames Street, Hackensack, NJ 07601

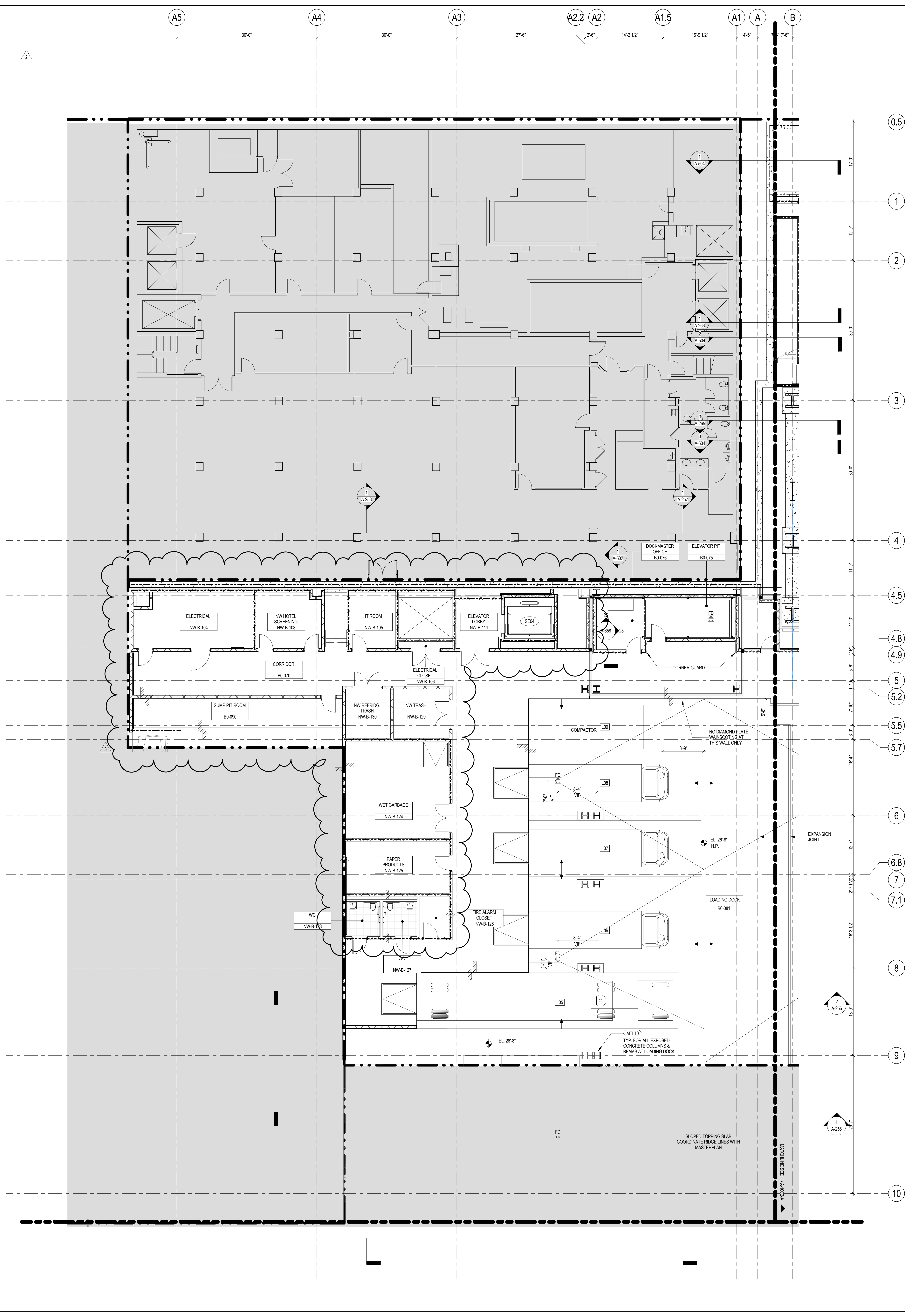
Wind Tunnel Consultant

Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8

Key Plan:







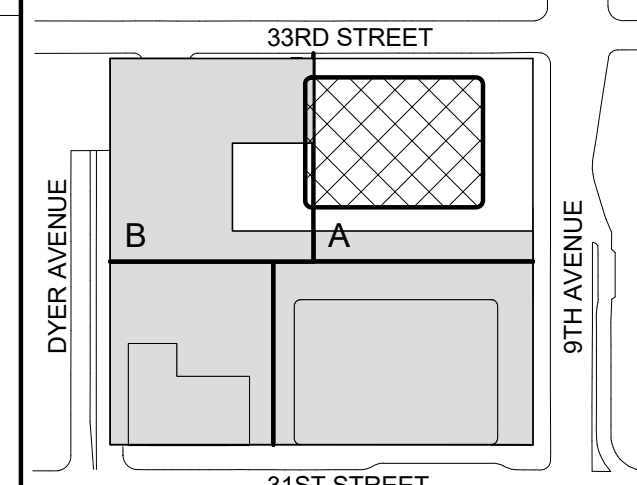
## GENERAL NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERRED TO THE NORTH ANGLE VERTICAL DATUM OF 1988 (NAD83).
2. ALL ELEVATION MARKS REFER TO FINISH FLOOR, UNO.
3. FOR GENERAL NOTES, BUILDING DETAIL NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-05.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-05.
5. FOR ROOM FURNISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE DB, UNO.
9. FOR REFLECTED CEILING PLAN SEE A-600 SERIES DRAWINGS. ALL PARTITIONS AND DOORS SHALL BE SHOWN ON THE REFLECTED SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMN, EDGE OF SLAB, AND CORE MOUNTING SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEPP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LEADING, PLUMBING AND FIRE PROTECTION ROUTING AND PENETRATIONS.
13. FOR PROJECT WORK POINTS REFER TO A-000 SERIES DRAWINGS.
14. EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT LOT BUILDING MUST BE CHECKED AND VERIFIED BEFORE CONSTRUCTION OF WORK. ANY MISPLACEMENTS BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS SHALL BE NOTED TO THE PROJECT ARCHITECT.
15. THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN PROVISIONS INDICATED IN SECTION BC 1910 OF THE 2010 INTERNATIONAL BUILDING CODE (IBC) AND THE 2010 STRUCTURAL CALCULATIONS BOOK ISSUED ON JUNE 20, 2014 FOR SEISMIC LOAD DESIGN PARAMETERS.
16. REFER TO CIVIL SERIES DRAWINGS AND BUILDING ENTRY PERMITS FOR ALL UTILITY LOCATIONS AND ELEVATIONS. REFER TO DETAILS UNO SERIES FOR TYPICAL PENETRATION DETAILS.
17. GUARD RAILS COMPLIANT WITH SECTION BC 1912 OF THE 2010 INTERNATIONAL BUILDING CODE (IBC) SHALL BE PROVIDED AT ALL WALKING SURFACES, MEZZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS, AND LANDINGS LOCATED ABOVE AND BELOW FLOOR LEVEL.
18. HAND RAILS COMPLIANT WITH SECTION BC 1009.1 OF THE 2010 NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT ALL STAIRWAYS AND STAIRWAYS.
19. PARTITIONS THAT EXCEED HEIGHTS TO BE COORDINATED WITH IMMEDIATE HORIZONTAL AND VERTICAL STRUCTURAL PARTITION FRAMING ARE REQUIRED.
20. PARTITIONS SURROUNDING ELEVATOR LOBBIES SHALL BE COORDINATED WITH SECTION FIVE TYPICAL CURBS OF THE NEW YORK CITY BUILDING CODE.
21. PROVIDE A WIDE BY 6" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE TALL CURBS WITH WIDTH TO MATCH THE PARTITION CURB. REFER TO MEPP DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURES.
22. COORDINATE ALL MEP PENETRATIONS TO BE COORDINATED WITH MEP COORDINATOR.
23. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOISTING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION PENETRATIONS.
24. REFER TO STRUCTURAL SERIES DRAWINGS FOR TYPICAL CURB DETAILS AND HOISTING PAD DETAILS, REINFORCEMENT, AND MATERIAL TYPES.
25. PROVIDE PHOTO LUMINOUS PATH MARKINGS AT ALL HOISTING PADS AND HOISTING PADS AS REQUIRED BY 2010 OF THE NEW YORK CITY BUILDING CODE.
26. PROVIDE FIRE RESISTANT RATING REQUIREMENTS FOR ELEVATOR ENCLOSURES AND REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-05.
27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SKEWLINE OF AN ELEVATOR ENCLOSURE, ENCLOSURES, ENCLOSURES AND SHAFTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
28. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.
29. REFER TO A-050 - A-058 FOR ENCLOSURE GEOMETRY DETAIL.

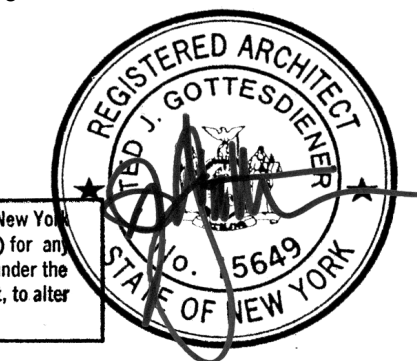
## SHEET NOTES

1. SEE A-059-A-065 FOR EXPANSION JOINT LOCATIONS AND TYPES
2. SEE P-SERIES FOR DRAIN TYPES
3. SEE S-SERIES FOR DUNNAGE SIZE AND LOCATION
4. SEE U-SERIES FOR UNDERSLAB DRAINAGE AND CLEAN-OUT LOCATIONS
5. ALL EXPANSION JOINTS AND WALLS SEPARATING THE INBOUND TOWER FROM THE RAIL YARDS SHALL BE 3 HOUR RATED.
6. SEE A-500 SERIES FOR TYPICAL FOUNDATION WATERPROOFING DETAILS
7. SEE E-SERIES FOR LOCATION OF LIGHTNING PROTECTION SYSTEM

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| Key Plan: |  |
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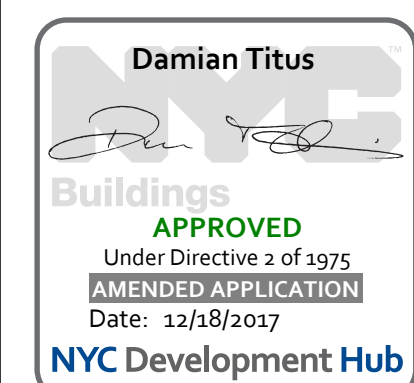
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| 3   | 23 AUG 2017 | ISSUED FOR DOB APPROVAL    |
| 2   | 22 APR 2016 | ISSUED FOR PAA             |
| 1   | 21 AUG 2015 | ISSUED FOR BUILDING PERMIT |
| No. | Date        | Description                |

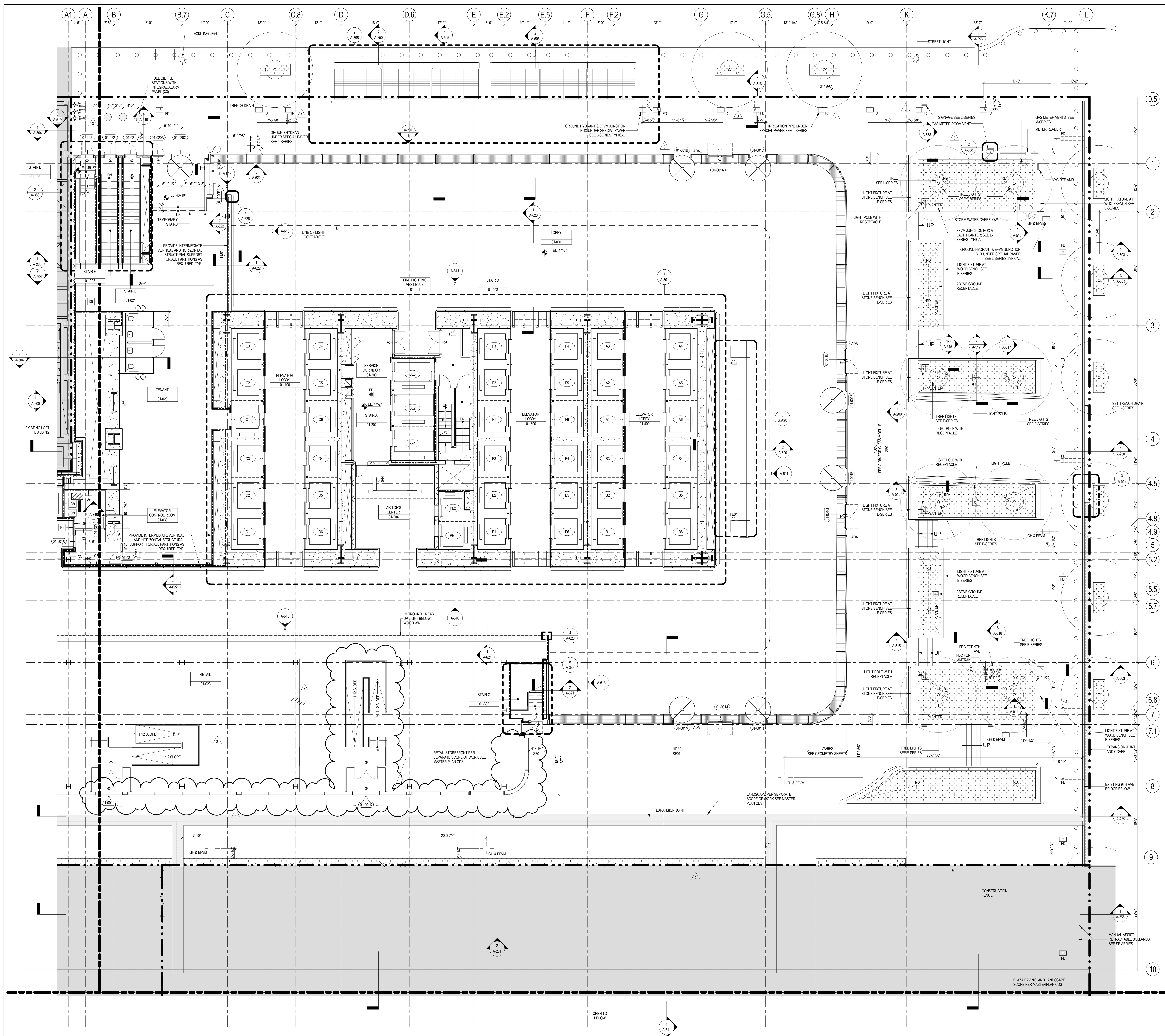
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CELLAR B FLOOR  
PLAN - PART B

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|------------------------|--|
| Project No.:<br>207120 | B-SCAN Sheet No.:<br><br><h1>A-098.02</h1> |
| Date:<br>23 AUG 2017   |  |
| Scale:<br>1/8" = 1'-0" |  |
| File No.:<br>A-100B-B  | Sheet No.:<br><br><h1>A-100B-B</h1>        |
|                        | Page No.: 11 OF 25                         |







### GENERAL NOTES

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4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-006.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPP/PAF SCHEDULE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEPP/PAF DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION ROOM SIZES AND EQUIPMENT DESIGNATIONS.
13. FOR PROJECT WORK POINT REFER TO A-000 SERIES DRAWINGS.
14. EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT EXISTING BUILDING MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
15. THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN PROVISIONS INDICATED IN SECTION BC 1910 OF THE 2009 NEW YORK CITY BUILDING CODE. REFER TO THE STRUCTURAL CALCULATION BOOK ISSUED ON JUNE 20, 2014 FOR SEISMIC LOAD DESIGN PARAMETERS.
16. REFER TO CIVIL SERIES DRAWINGS AND BUILDING PAVEMENT PLANS FOR UTILITY POINTS OF ENTRY. REFER TO DETAILS IN 500 SERIES FOR TYPICAL PENETRATION DETAILS.
17. GUARD RAILS COMPLIANT WITH SECTION BC 1002.11 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT OPEN SIDES OF ALL WALKING SURFACES, MEZZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS, AND LANDINGS LOCATED MORE THAN 30 INCHES ABOVE FLOORS BELOW.
18. HAND RAILS COMPLIANT WITH SECTION BC 1009.11 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT ALL RAMPS AND STAIRWAYS.
19. PARTITIONS THAT EXCEED LIMITING HEIGHTS TO BE PROVIDED WITH INTERMEDIATE HORIZONTAL AND VERTICAL STRUCTURAL SUPPORT FRAMING AS REQUIRED.
20. PARTITIONS SURROUNDING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION 710 OF THE NEW YORK CITY BUILDING CODE.
21. PROVIDE 6" WIDE BY 6" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE 6" TALL CURBS WITH WIDTH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO 500 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
22. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
23. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT.
24. REFER TO STRUCTURAL SERIES DRAWINGS FOR TYPICAL CURB DETAILS AND HOUSEKEEPING PAD DETAILS, REINFORCEMENT, AND MATERIAL TYPES.
25. PROVIDE PHOTO LUMINESCENT PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.16 & 1026 OF THE NEW YORK CITY BUILDING CODE.
26. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-005.
27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE-RESISTANT ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHUTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
28. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.
29. REFER TO A-050 - A-059 FOR ENCLOSURE GEOMETRY SET-OUT.

### SHEET NOTES

1. SEE L-SERIES FOR PLANTER DIMENSIONS, MATERIALS AND VEGETATION.
2. SEE P-SERIES FOR DRAIN TYPES.
3. SEE L-SERIES FOR BOLLARD FINISHES.
4. SEE L-SERIES FOR SITE GRADING.
5. SEE A-059-A-065 FOR EXPANSION JOINT LOCATIONS AND TYPES.
6. SEE IR-SERIES FOR SITE IRRIGATION.

### Key Plan:

### Seal & Signature:

Warning: It is a violation of the New York State Architecture Law, § 201.0(a) for persons, unless they are acting under the direction of a Licensed Architect, to alter this seal in any way.

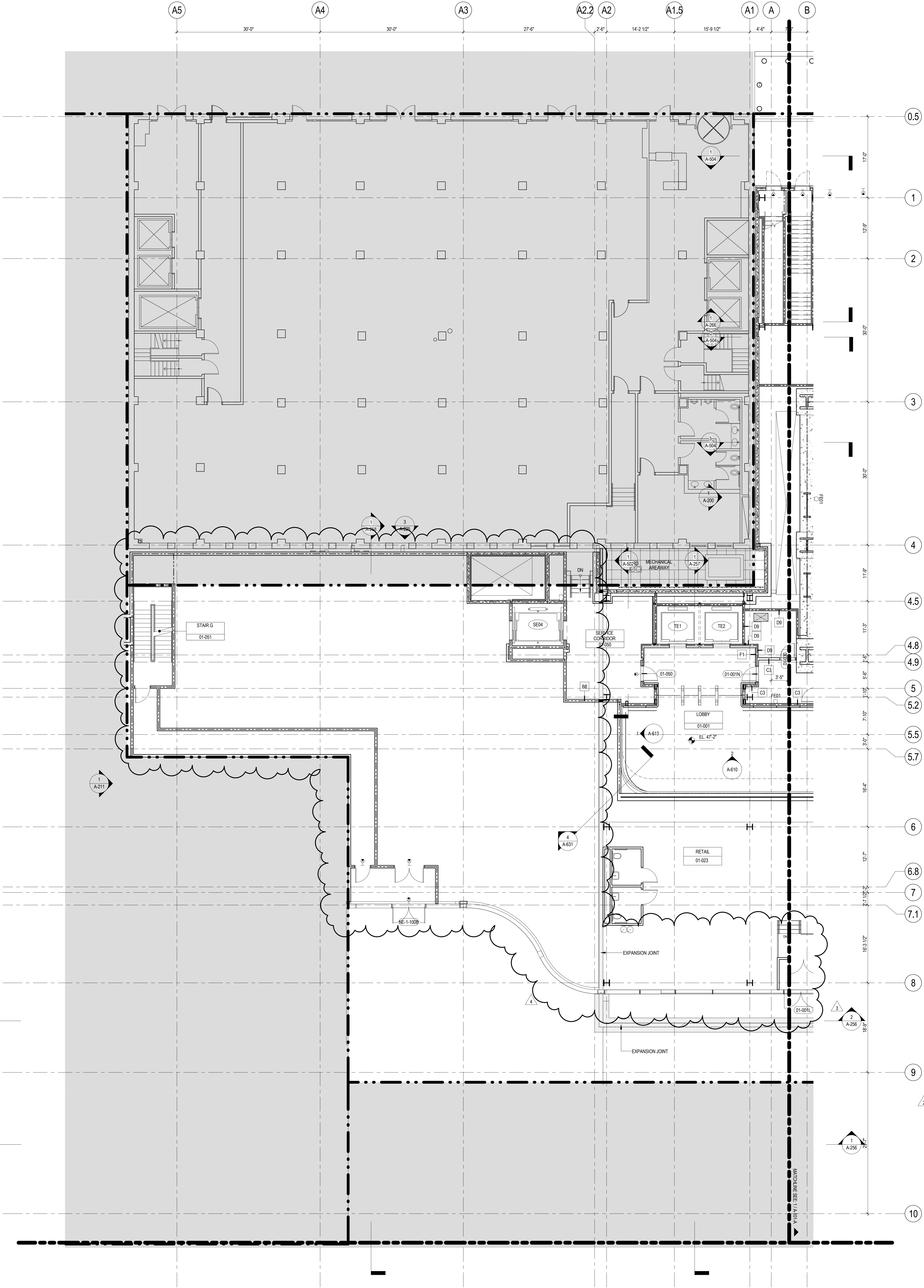
### Project Information:

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| Project No.: 201710 | B-SCAN Sheet No.: A-100.02 |
| Date: 21 AUG 2017   | Sheet No.: A-101-A         |
| Scale: 1/8" = 1'-0" | Page No.: 12 OF 25         |
| File No.: A-101-A   |                            |

### Ground Floor Plan - Part A

APPROVED Under Directive 2 of 1975 INTERESTED PARTY DISCUSSION Date: 12/28/2017 NYC Development Hub





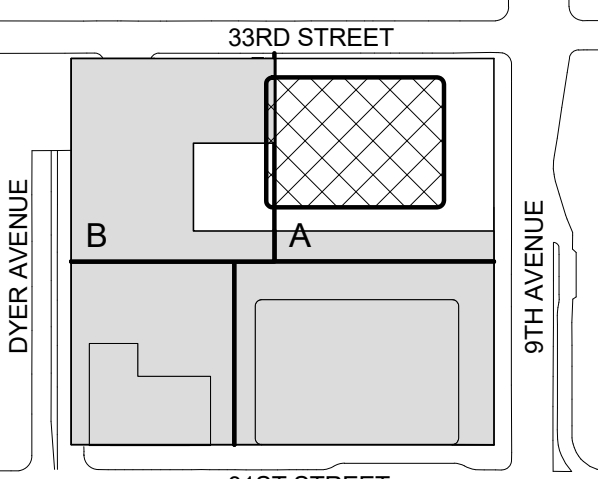
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14. EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT LEFT BUILDING MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
15. THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN PROVISIONS INDICATED IN SECTION BC 1910 OF THE 2008 NEW YORK CITY BUILDING CODE. REFER TO THE STRUCTURAL CALCULATION BOOK ISSUED ON JUNE 20, 2014 FOR SEISMIC LOAD DESIGN PARAMETERS.
16. REFER TO CIVIL SERIES DRAWINGS AND BUILDING PAVEMENT PLANS FOR UTILITY POINTS OF ENTRY. REFER TO DETAILS IN 500 SERIES FOR TYPICAL PENETRATION DETAILS.
17. GUARD RAILS COMPLIANT WITH SECTION BC 1012 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT OPEN SIDES OF ALL WALKING SURFACES, MEZZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS, AND LANDINGS LOCATED MORE THAN 30 INCHES ABOVE FLOORS BELOW.
18. HAND RAILS COMPLIANT WITH SECTION BC 1009.11 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT ALL RAMPS AND STAIRWAYS.
19. PARTITIONS THAT EXCEED LIMITING HEIGHTS TO BE PROVIDED WITH INTERMEDIATE HORIZONTAL AND VERTICAL STRUCTURAL SUPPORT FRAMING AS REQUIRED.
20. PARTITIONS SURROUNDING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION 710 OF THE NEW YORK CITY BUILDING CODE.
21. PROVIDE 6" WIDE BY 6" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE 6" TALL CURBS WITH WIDTH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO 500 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
22. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
23. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT.
24. REFER TO STRUCTURAL SERIES DRAWINGS FOR TYPICAL CURB DETAILS AND HOUSEKEEPING PAD DETAILS, REINFORCEMENT, AND MATERIAL TYPES.
25. PROVIDE PHOTOLUMINESCENT PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.16 & 1026 OF THE NEW YORK CITY BUILDING CODE.
26. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-005.
27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE/FIRE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHAFTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
28. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.
29. REFER TO A-050 - A-068 FOR ENCLOSURE GEOMETRY SET-OUT.

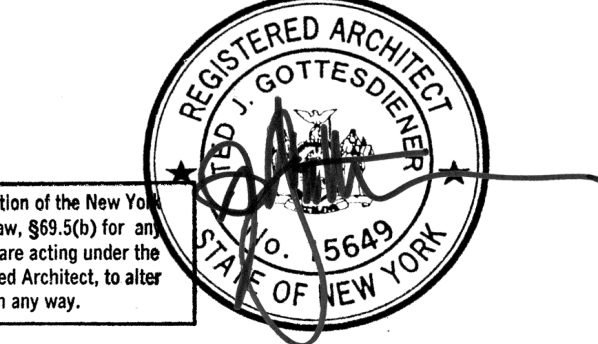
## SHEET NOTES

1. SEE L-SERIES FOR PLANTER DIMENSIONS, MATERIALS AND VEGETATION
2. SEE P-SERIES FOR DRAIN TYPES
3. SEE L-SERIES FOR BOLLARD FINISHES
4. SEE L-SERIES FOR SITE GRADING
5. SEE A-059-A-065 FOR EXPANSION JOINT LOCATIONS AND TYPES
6. RETAIL BUILDING STILL UNDER COORDINATION WITH MASTERPLAN

Key Plan:



Seal & Signature:



4 23 AUG 2017 ISSUED FOR DOB APPROVAL

3 12 DEC 2016 ISSUED FOR PAA

2 22 APR 2016 ISSUED FOR PAA

1 21 JUL 2015 ISSUED FOR BUILDING PERMIT

No. Date Description

Sheet Name:

GROUND FLOOR PLAN - PART B

Project No.: 207150

Date: 23 AUG 2017

Scale: 1/8" = 1'-0"

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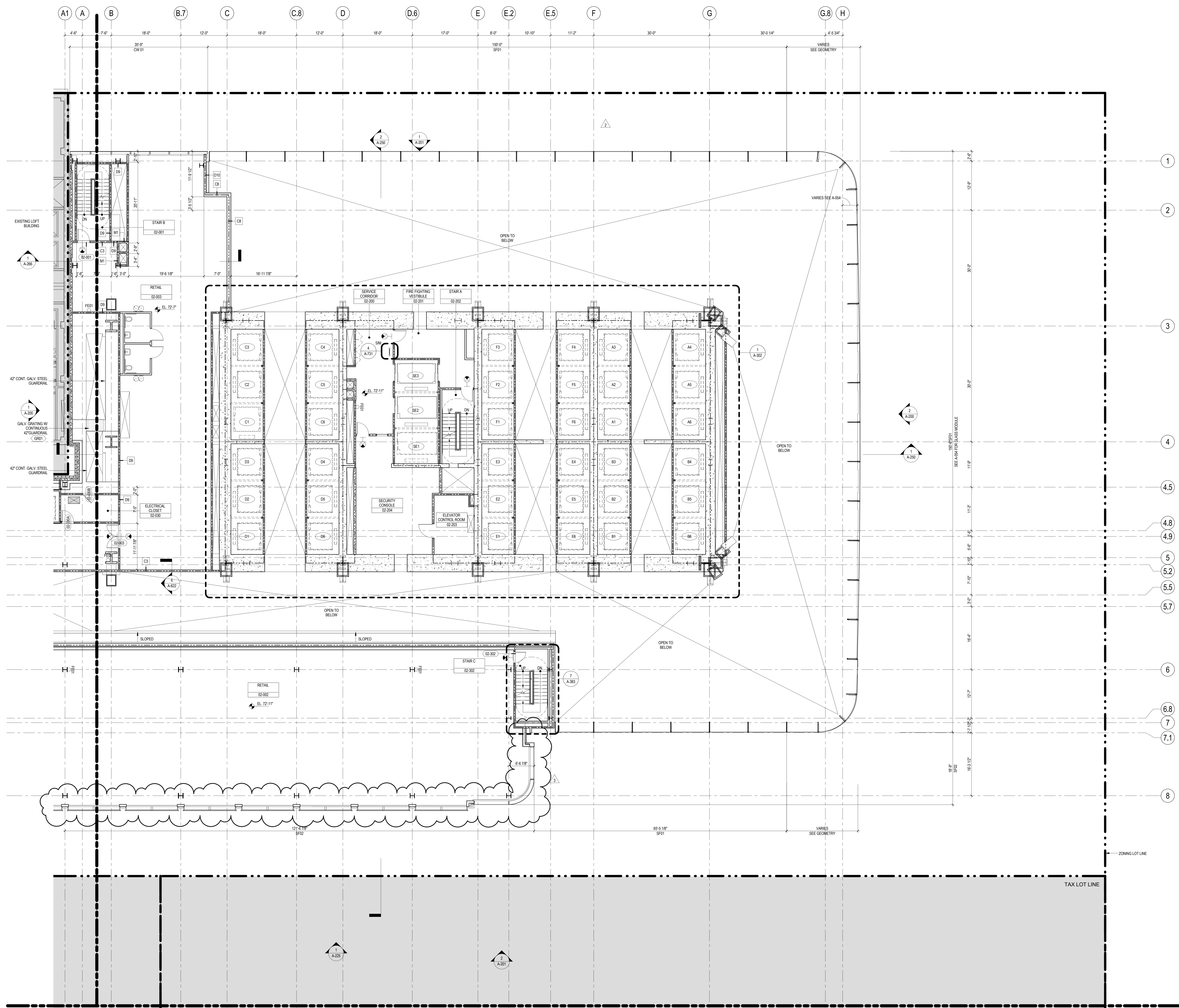
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3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-005.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS, & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-006.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPPFP/ASCE/ETL SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
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22. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
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25. PROVIDE PHOTO LUMINESCENT PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.16 & 1026 OF THE NEW YORK CITY BUILDING CODE.
26. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL DRAWING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-005.
27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE/SPRINKLER RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHAFTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
28. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.
29. REFER TO A-050 - A-058 FOR ENCLOSURE GEOMETRY SET-OUT.

### SHEET NOTES

1. SEE A-059-A-065 FOR EXPANSION JOINT LOCATIONS AND TYPES.
2. RETAIL BUILDING STILL UNDER COORDINATION WITH MASTERPLAN.

Key Plan:

Seal & Signature:

Warning: It is a violation of the New York State Architecture Law, § 201.0(a) for persons, unless they are acting under the direction of a Licensed Architect, to alter this title in any way.

| No. | Date        | Description                |
|-----|-------------|----------------------------|
| 3   | 23 AUG 2017 | ISSUED FOR DOB APPROVAL    |
| 2   | 22 APR 2016 | ISSUED FOR PAA             |
| 1   | 21 JUL 2015 | ISSUED FOR BUILDING PERMIT |

Sheet Name: LEVEL 2 FLOOR PLAN - PART A

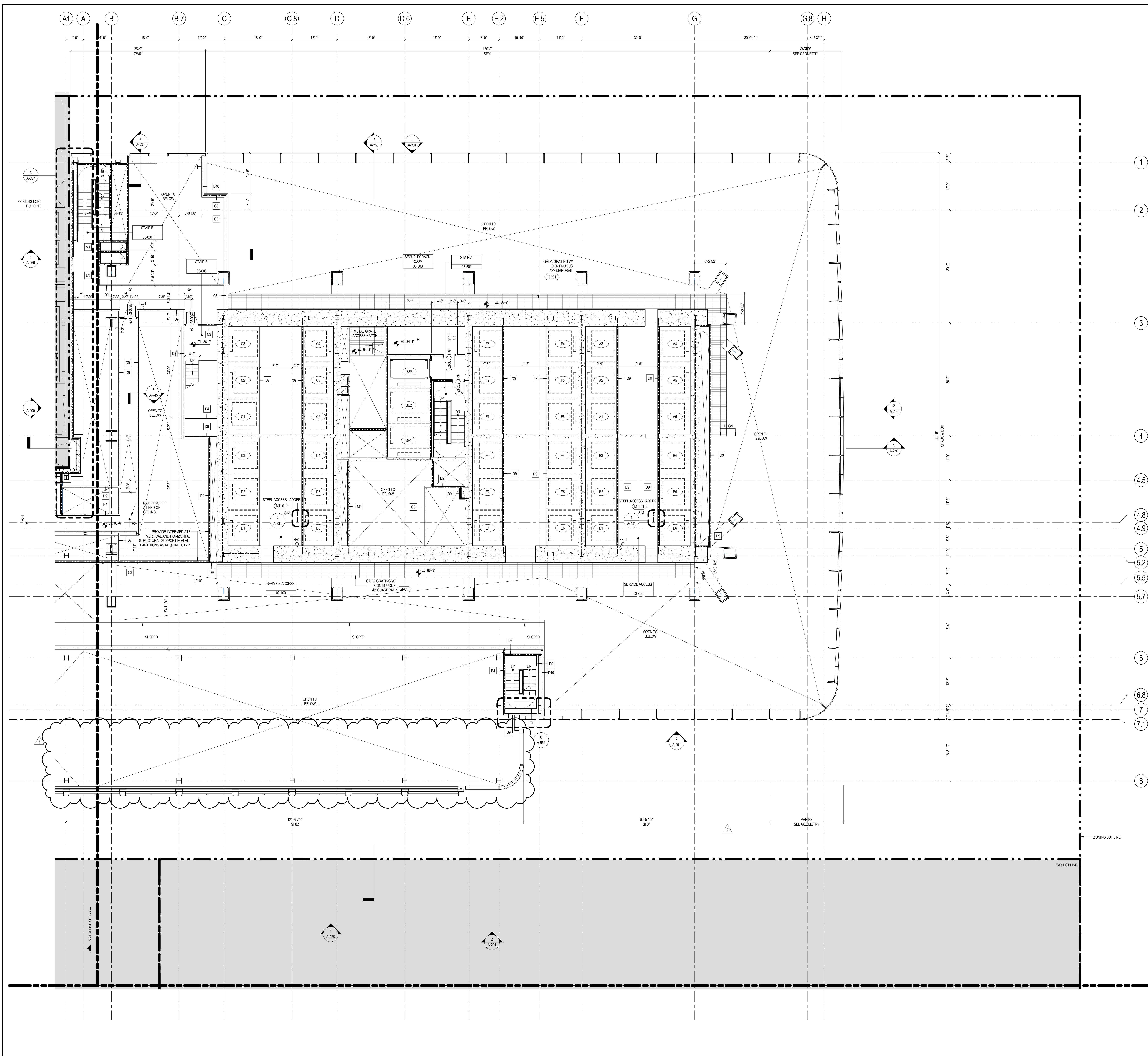
Project No.: 207150  
Date: 23 AUG 2017  
Scale: 1/8" = 1'-0"  
File No.: A-102-A

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Manhattan West: North Tower  
401 Ninth Avenue, New York, NY 10001  
Client: Brookfield  
250 Vesey Street, 15th Floor, New York, NY 10021  
Architecture/Structural Engineering: SOM  
Skidmore, Owings & Merrill LLP  
14 Wall Street, New York, NY 10005  
Civil Engineering: Philip Habib & Associates  
102 Madison Avenue #11, New York, NY 10016  
MEP Engineering: Jaros Baum & Bolles  
80 Pine Street, New York, NY 10005  
Vertical Transportation: Edgett Williams Consulting Group, Inc.  
102 East 87th Street, Suite 1, Mill Valley, California 94041  
Sustainable Design: Viridian Energy & Environmental  
50 Washington Street, Newark, CT 06854  
Geotechnical Engineering: Mueser Rutledge Consulting Engineers  
14 Penn Plaza, 22nd W, 34th Street, New York, NY 10122  
Landscape Consultant: Field Operations  
475 10th Avenue, New York, NY 10018  
Security Consultant: Ducibella, Vantor & Santoro  
250 State Street #F1, North Haven, CT 06473  
Blast Consultant: Weidinger Associates, Inc.  
40 Wall Street, New York, NY 10005  
Acoustical Consultant: Cerami & Associates  
404 Fifth Avenue #8, New York, NY 10016  
Vibration Consultant: Wilson, Uhrig & Associates, Inc.  
65 Broadway, Suite 401, New York, NY 10006  
Code Consultants Professional Engineers PC  
215 West 40th Street, 15th Floor, New York, NY 10018  
Facade Maintenance Consultant: Entek Engineering LLC  
166 Ames Street, Hackensack, NJ 07601  
Wind Tunnel Consultant: Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8

Damian Titus  
Buildings  
APPROVED  
Under Directive 2 of 2015  
INTERSECTION OF 31ST STREET AND 33RD STREET  
Date: 12/28/2017  
NYC Development Hub





### GENERAL NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
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4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-006.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF RCP IS NOT PROVIDED SEE MEPPFP/ASCETEL SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
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13. FOR PROJECT WORK POINT REFER TO A-000 SERIES DRAWINGS.
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### SHEET NOTES

1. SEE A-009-A-005 FOR EXPANSION JOINT LOCATIONS AND TYPES.
2. RETAIL BUILDING STILL UNDER COORDINATION WITH MASTERPLAN.

Key Plan:

Seal & Signature:

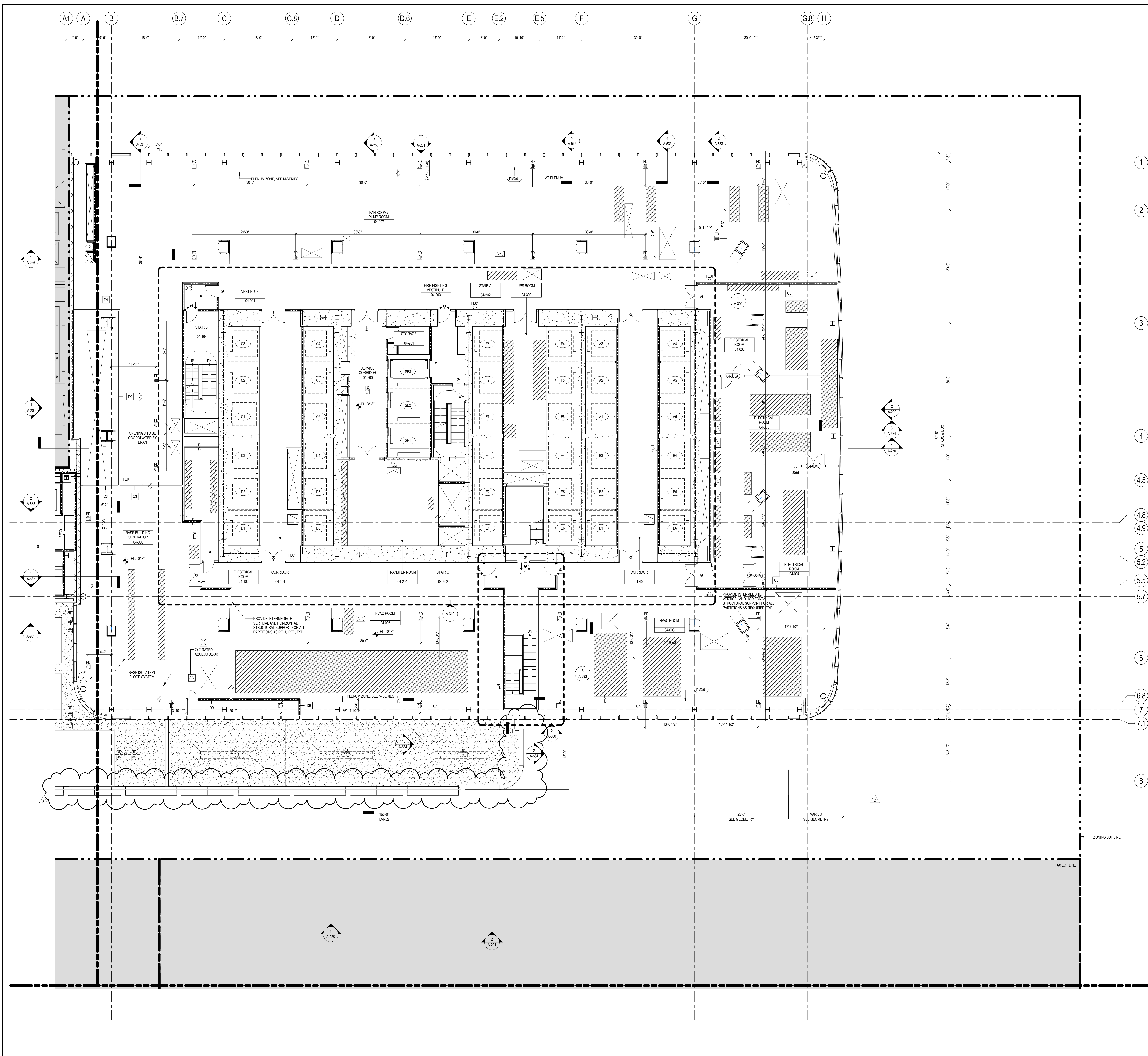
Warning: It is a violation of the New York State Architecture Law, § 160.1(b)(1) for persons, unless they are acting under the direction of a Licensed Architect, to alter this title in any way.

Project No.: 207150  
Date: 23 AUG 2017  
Scale: 1/8" = 1'-0"  
File No.: A-103-A

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Sheet No.:  
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LEVEL 3 FLOOR PLAN - PART A





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- PARTITIONS SURROUNDING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION 710 OF THE NEW YORK CITY BUILDING CODE.
- PROVIDE WIDE BY 6" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE 6" TALL CURBS WITH WIDTH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO 500 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
- CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
- COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT.
- REFER TO STRUCTURAL SERIES DRAWINGS FOR TYPICAL CURB DETAILS AND HOUSEKEEPING PAD DETAILS, REINFORCEMENT, AND MATERIAL TYPES.
- PROVIDE PHOTO LUMINESCENT PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.16 & 1026 OF THE NEW YORK CITY BUILDING CODE.
- FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-005.
- ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE/RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHAFTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
- REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.
- REFER TO A-005 - A-008 FOR ENCLOSURE GEOMETRY SET-OUT.

### SHEET NOTES

- SEE L-SERIES FOR PLANTER DIMENSIONS, MATERIALS AND VEGETATION.
- SEE P-SERIES FOR DRAIN TYPES.
- SEE A-009-A-005 FOR EXPANSION JOINT LOCATIONS AND TYPES.

### Key Plan:

Seal & Signature:

Warning: This is a reproduction of the New York State Architectural Law, § 160.0(1)(b) for general, unless they are acting under the direction of a Licensed Architect, to alter this form in any way.

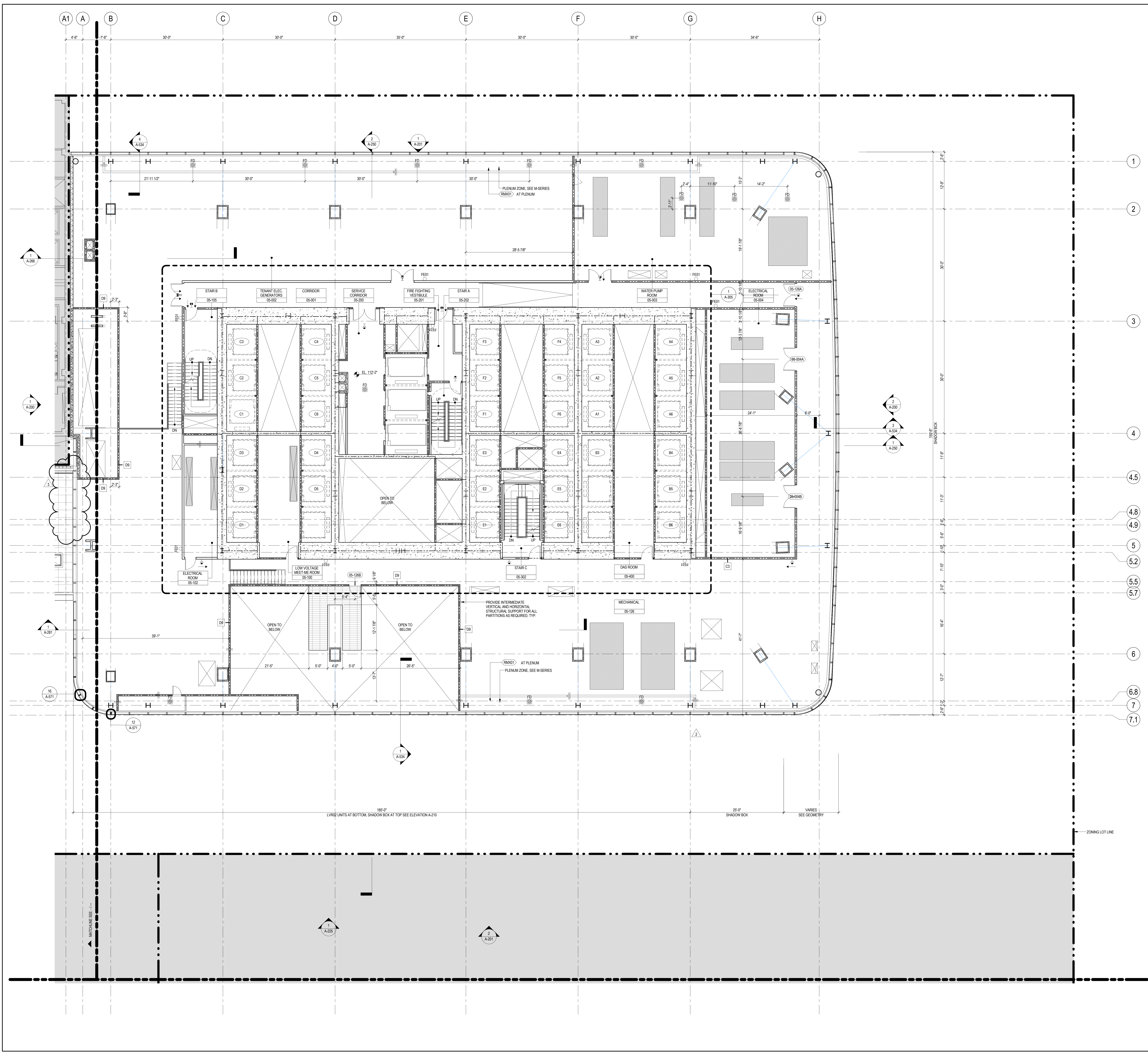
| No. | Date        | Description                |
|-----|-------------|----------------------------|
| 3   | 23 AUG 2017 | ISSUED FOR DOB APPROVAL    |
| 2   | 22 APR 2016 | ISSUED FOR PAA             |
| 1   | 21 JUL 2015 | ISSUED FOR BUILDING PERMIT |

Sheet Name: **LEVEL 4 FLOOR PLAN - PART A**

**Damian Titus**  
Buildings  
APPROVED  
Under Directive 2 of 2015  
INTERESTED PROFESSIONAL  
Date: 12/28/2017  
NYC Development Hub

|                     |                                   |
|---------------------|-----------------------------------|
| Project No.: 207150 | B-SCAN Sheet No.: <b>A-104.02</b> |
| Date: 23 AUG 2017   | Sheet No.: <b>A-104-A</b>         |
| Scale: 1/8" = 1'-0" | Page No.: 18 OF 25                |
| File No.: A-104-A   |                                   |





### GENERAL NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
2. ALL ELEVATION MARKS REFER TO FINISH FLOOR, UNO.
3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK, NOTES REFER TO SHEET NO. G-005.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS, & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-006.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPPF/PAF/ACCEL SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEPPF DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION ROOM, RISER AND EQUIPMENT DESIGNATIONS.
13. FOR PROJECT WORK POINT REFER TO A-600 SERIES DRAWINGS.
14. EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT LOT BUILDING MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
15. THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN PROVISIONS INDICATED IN SECTION BC 1910 OF THE 2008 NEW YORK CITY BUILDING CODE, REFER TO THE STRUCTURAL CALCULATION BOOK ISSUED ON JUNE 20, 2014 FOR SEISMIC LOAD DESIGN PARAMETERS.
16. REFER TO CIVIL SERIES DRAWINGS AND BUILDING PAVEMENT PLANS FOR UTILITY POINTS OF ENTRY. REFER TO DETAILS IN 500 SERIES FOR TYPICAL PENETRATION DETAILS.
17. GUARD RAILS COMPLIANT WITH SECTION BC 1012 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT OPEN SIDES OF ALL WALKING SURFACES, MEZZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS, AND LANDINGS LOCATED MORE THAN 30 INCHES ABOVE FLOORS BELOW.
18. HAND RAILS COMPLIANT WITH SECTION BC 1009.11 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT ALL RAMPS AND STAIRWAYS.
19. PARTITIONS THAT EXCEED LIMITING HEIGHTS TO BE PROVIDED WITH INTERMEDIATE HORIZONTAL AND VERTICAL STRUCTURAL SUPPORT FRAMING AS REQUIRED.
20. PARTITIONS SURROUNDING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION 710 OF THE NEW YORK CITY BUILDING CODE.
21. PROVIDE 6" WIDE BY 6" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE 6" TALL CURBS WITH WIDTH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO 500 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
22. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
23. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT.
24. REFER TO STRUCTURAL SERIES DRAWINGS FOR TYPICAL CURB DETAILS AND HOUSEKEEPING PAD DETAILS, REINFORCEMENT, AND MATERIAL TYPES.
25. PROVIDE PHOTO LUMINESCENT PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.16 & 1026 OF THE NEW YORK CITY BUILDING CODE.
26. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-005.
27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHAFTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
28. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.
29. REFER TO A-500 - A-600 FOR ENCLOSURE GEOMETRY SET-OUT.

### SHEET NOTES

1. SEE F-SERIES FOR DRAIN TYPES.
2. SEE A-059-A-065 FOR EXPANSION JOINT LOCATIONS AND TYPES.

Key Plan:

Seal & Signature:

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| No. | Date        | Description                |
|-----|-------------|----------------------------|
| 3   | 23 AUG 2017 | ISSUED FOR DOB APPROVAL    |
| 2   | 22 APR 2016 | ISSUED FOR PAA             |
| 1   | 21 JUL 2015 | ISSUED FOR BUILDING PERMIT |

Sheet Name: LEVEL 5 FLOOR PLAN - PART A

Damian Titus

Buildings APPROVED Under Directive 2 of 2015 INTERSECTIONAL DECISION Date: 12/30/2017 NYC Development Hub

Project No.: 207150

Date: 23 AUG 2017

Scale: 1/8" = 1'-0"

File No.: A-105-A

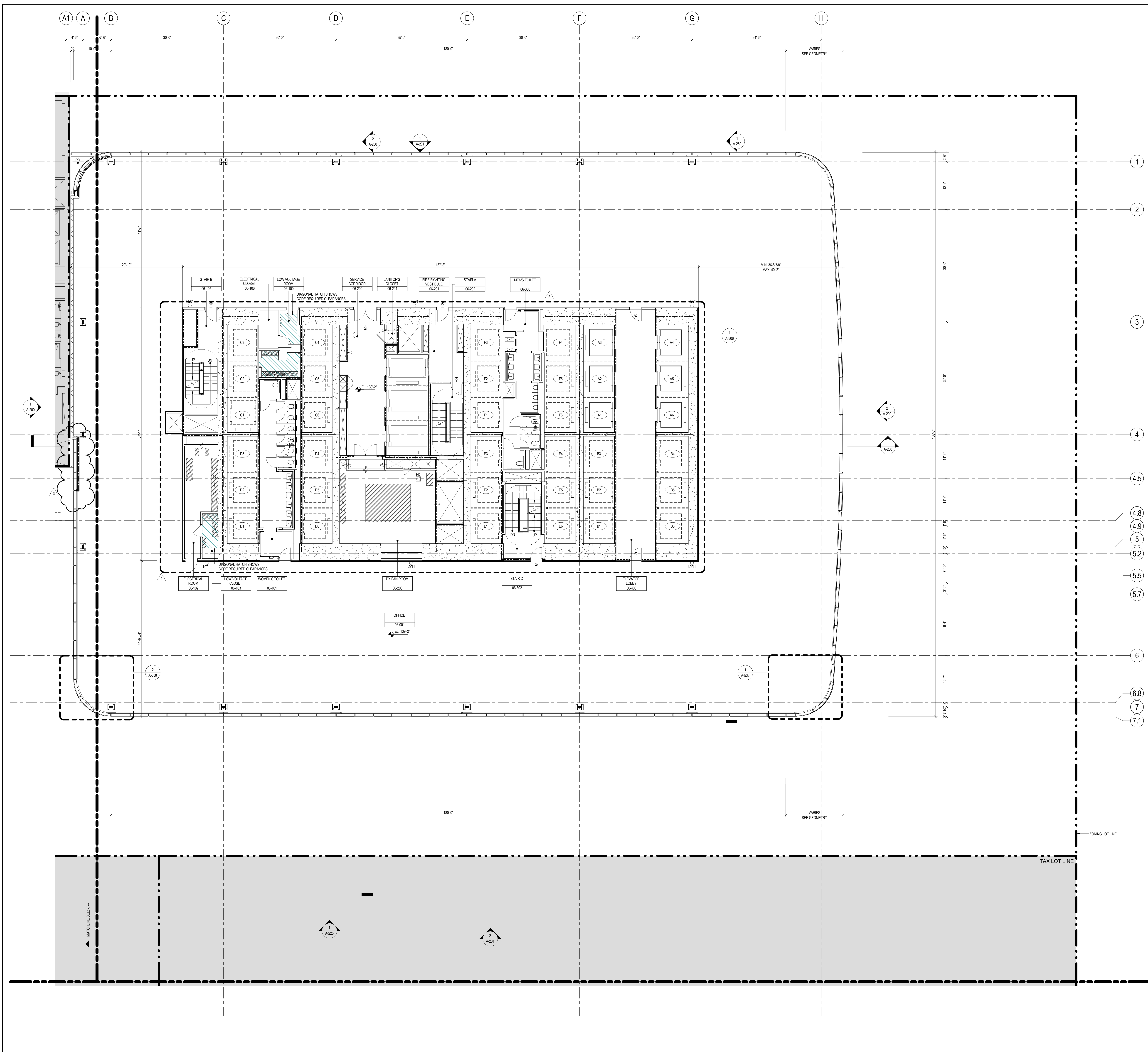
B-SCAN Sheet No.: A-105.02

Sheet No.: A-105-A

Page No.: 20 OF 25

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### GENERAL NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVB8).
2. ALL ELEVATION MARKS REFER TO FINISH FLOOR, UNO.
3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-005.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-006.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPPFP/ASCE/ETL SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEPPFP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION ROOM, RISER, AND EQUIPMENT DESIGNATIONS.
13. FOR PROJECT WORK POINT REFER TO A-600 SERIES DRAWINGS.
14. EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT LOT BUILDING MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
15. THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN PROVISIONS INDICATED IN SECTION BC 1910 OF THE 2008 NEW YORK CITY BUILDING CODE. REFER TO THE STRUCTURAL CALCULATION BOOK ISSUED ON JUNE 20, 2014 FOR SEISMIC LOAD DESIGN PARAMETERS.
16. REFER TO CIVIL SERIES DRAWINGS AND BUILDING PAVEMENT PLANS FOR UTILITY POINTS OF ENTRY. REFER TO DETAILS IN 500 SERIES FOR TYPICAL PENETRATION DETAILS.
17. GUARD RAILS COMPLIANT WITH SECTION BC 1009.11 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT OPEN SIDES OF ALL WALKING SURFACES, MEZZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS, AND LANDINGS LOCATED MORE THAN 30 INCHES ABOVE FLOORS BELOW.
18. HAND RAILS COMPLIANT WITH SECTION BC 1009.11 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT ALL RAMPS AND STAIRWAYS.
19. PARTITIONS THAT EXCEED LIMITING HEIGHTS TO BE PROVIDED WITH INTERMEDIATE HORIZONTAL AND VERTICAL STRUCTURAL SUPPORT FRAMING AS REQUIRED.
20. PARTITIONS SURROUNDING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION 710 OF THE NEW YORK CITY BUILDING CODE.
21. PROVIDE 6" WIDE BY 6" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE 6" TALL CURBS WITH WIDTH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO 500 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
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23. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT.
24. REFER TO STRUCTURAL SERIES DRAWINGS FOR TYPICAL CURB DETAILS AND HOUSEKEEPING PAD DETAILS, REINFORCEMENT, AND MATERIAL TYPES.
25. PROVIDE PHOTO LUMINESCENT PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.6 & 1026 OF THE NEW YORK CITY BUILDING CODE.
26. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-005.
27. ALL CRACKS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE/FIRE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHAFTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
28. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.
29. REFER TO A-550 - A-558 FOR ENCLOSURE GEOMETRY SET-OUT.

### SHEET NOTES

1. SEE F-SERIES FOR DRAIN TYPES
2. SEE A-059-A-065 FOR EXPANSION JOINT LOCATIONS AND TYPES

## MANHATTAN WEST: NORTH TOWER

401 Ninth Avenue, New York, NY 10001

Client

# Brookfield

Brookfield Place  
250 Vesey Street, 15th Floor, New York, NY 10021

Architecture/Structural Engineering

# SOM

Skidmore, Owings & Merrill LLP  
14 Wall Street, New York, NY 10005

Civil Engineering

Philip Habib & Associates  
102 Madison Avenue #11, New York, NY 10016

MEP Engineering

Jaros Baum & Bolles  
80 Pine Street, New York, NY 10005

Vertical Transportation

Edgett Williams Consulting Group, Inc.  
102 East Bluffside Ave., Suite 1, Mill Valley, California 94941

Sustainable Design

Viridian Energy & Environmental  
50 Washington Street, Newark, CT 06854

Geotechnical Engineering

Mueser Rutledge Consulting Engineers  
14 Penn Plaza, 225 W. 34th Street, New York, NY 10122

Landscape Consultant

Field Operations  
475 10th Avenue, New York, NY 10018

Security Consultant

Ducibella, Ventor & Santoro  
250 State Street #F1, North Haven, CT 06473

Blast Consultant

Weidinger Associates, Inc.  
40 Wall Street, New York, NY 10005

Acoustical Consultant

Cerami & Associates  
404 Fifth Avenue #8, New York, NY 10016

Vibration Consultant

Wilson, Uhrig & Associates, Inc.  
65 Broadway, Suite 401, New York, NY 10006

Code Consultant

Code Consultants Professional Engineers PC  
215 West 40th Street, 15th Floor, New York, NY 10018

Facade Maintenance Consultant

Entek Engineering LLC  
166 Ames Street, Hackensack, NJ 07601

Wind Tunnel Consultant

Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8

Key Plan:

Seal & Signature:

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| No. | Date        | Description                |
|-----|-------------|----------------------------|
| 3   | 23 AUG 2017 | ISSUED FOR DOB APPROVAL    |
| 2   | 22 APR 2016 | ISSUED FOR PAA             |
| 1   | 07 OCT 2015 | ISSUED FOR BUILDING PERMIT |

Sheet Name:

Damian Titus

Buildings

APPROVED

Under Directive 2 of 2015

INTERESTED PROFESSIONAL

Date: 12/28/2017

NYC Development Hub

Project No.: 207150

Date: 23 AUG 2017

Scale: 1/8" = 1'-0"

File No.: A-106-A

B-SCAN Sheet No.: A-106.03

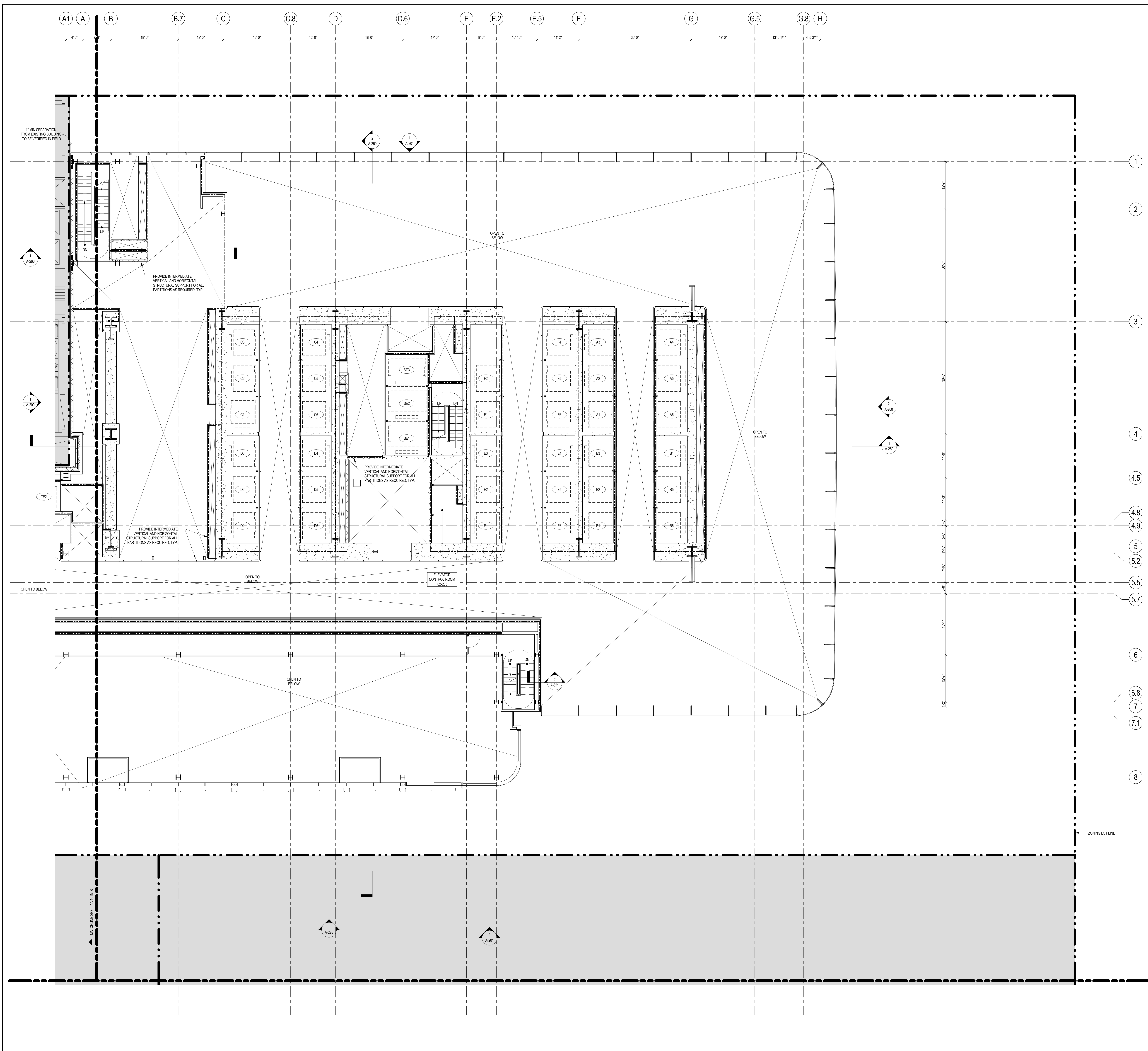
Sheet No.: A-106-A

Page No.: 28 OF

## LEVEL 6-16 FLOOR PLAN - PART A

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### GENERAL NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
2. ALL ELEVATION MARKS REFER TO FINISH FLOOR, UNO.
3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-005.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-006.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPPFP/SCET/ SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEPPFP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION ROOM RISER AND EQUIPMENT DESIGNATIONS.
13. FOR PROJECT WORK POINT REFER TO A-000 SERIES DRAWINGS.
14. EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT LEFT BUILDING MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
15. THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN PROVISIONS INDICATED IN SECTION BC 1910 OF THE 2008 NEW YORK CITY BUILDING CODE. REFER TO THE STRUCTURAL CALCULATION BOOK ISSUED ON JUNE 20, 2014 FOR SEISMIC LOAD DESIGN PARAMETERS.
16. REFER TO CIVIL SERIES DRAWINGS AND BUILDING PAVEMENT PLANS FOR UTILITY POINTS OF ENTRY. REFER TO DETAILS IN S00 SERIES FOR TYPICAL PENETRATION DETAILS.
17. GUARD RAILS COMPLIANT WITH SECTION BC 1012 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT OPEN SIDES OF ALL WALKING SURFACES, MEZZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS, AND LANDINGS LOCATED MORE THAN 30 INCHES ABOVE FLOORS BELOW.
18. HAND RAILS COMPLIANT WITH SECTION BC 1009.11 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT ALL RAMPS AND STAIRWAYS.
19. PARTITIONS THAT EXCEED LIMITING HEIGHTS TO BE PROVIDED WITH INTERMEDIATE HORIZONTAL AND VERTICAL STRUCTURAL SUPPORT FRAMING AS REQUIRED.
20. PARTITIONS SURROUNDING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION 710 OF THE NEW YORK CITY BUILDING CODE.
21. PROVIDE 6" WIDE BY 6" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE 6" TALL CURBS WITH NOTCH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO S00 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
22. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
23. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT.
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28. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.
29. REFER TO A-000 - A-008 FOR ENCLOSURE GEOMETRY SET-OUT.

### SHEET NOTES

1. SEE A-009-A-065 FOR EXPANSION JOINT LOCATIONS AND TYPES.
2. RETAIL BUILDING STILL UNDER COORDINATION WITH MASTERPLAN.

**MANHATTAN WEST:  
NORTH TOWER**  
401 Ninth Avenue, New York, NY 10001  
Client

Brookfield Place  
250 Vesey Street, 15th Floor, New York, NY 10021  
Architecture/Structural Engineering

**SOM**  
Skidmore, Owings & Merrill LLP  
14 Wall Street, New York, NY 10005  
Civil Engineering

**Philip Habbt & Associates**  
102 Madison Avenue #11, New York, NY 10016  
MEP Engineering

**Jaros Baum & Bolles**  
80 Pine Street, New York, NY 10005  
Vertical Transportation

**Edgett Williams Consulting Group, Inc.**  
102 East Bluffside Ave, Suite 1, Mill Valley, California 94041  
Sustainable Design

**Viridian Energy & Environmental**  
50 Washington Street, Newark, CT 06854  
Geotechnical Engineering

**Mueser Rutledge Consulting Engineers**  
14 Penn Plaza, 22nd W, 34th Street, New York, NY 10122  
Landscape Consultant

**Field Operations**  
475 10th Avenue, New York, NY 10018  
Security Consultant

**Ducibella, Ventor & Santoro**  
250 State Street #11, North Haven, CT 06473  
Blast Consultant

**Weidinger Associates, Inc.**  
40 Wall Street, New York, NY 10005  
Acoustical Consultant

**Cerami & Associates**  
404 Fifth Avenue #8, New York, NY 10016  
Vibration Consultant

**Wilson, Uhrig & Associates, Inc.**  
65 Broadway, Suite 401, New York, NY 10006  
Code Consultant

**Code Consultants Professional Engineers PC**  
215 West 40th Street, 15th Floor, New York, NY 10018  
Facade Maintenance Consultant

**Entek Engineering LLC**  
166 Ames Street, Hackensack, NJ 07601  
Wind Tunnel Consultant

**Rowan Williams Davies & Irwin Inc.**  
680 Woodlawn Road West, Guelph Ontario, Canada N1K 1B8

Key Plan:

Seal & Signature:

Warning: It is a violation of the New York State Architecture Law, §101.00 for persons, unless they are acting under the direction of a Licensed Architect, to alter this Seal in any way.

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Sheet Name: \_\_\_\_\_

**LEVEL 1M FLOOR  
PLAN - PART A**

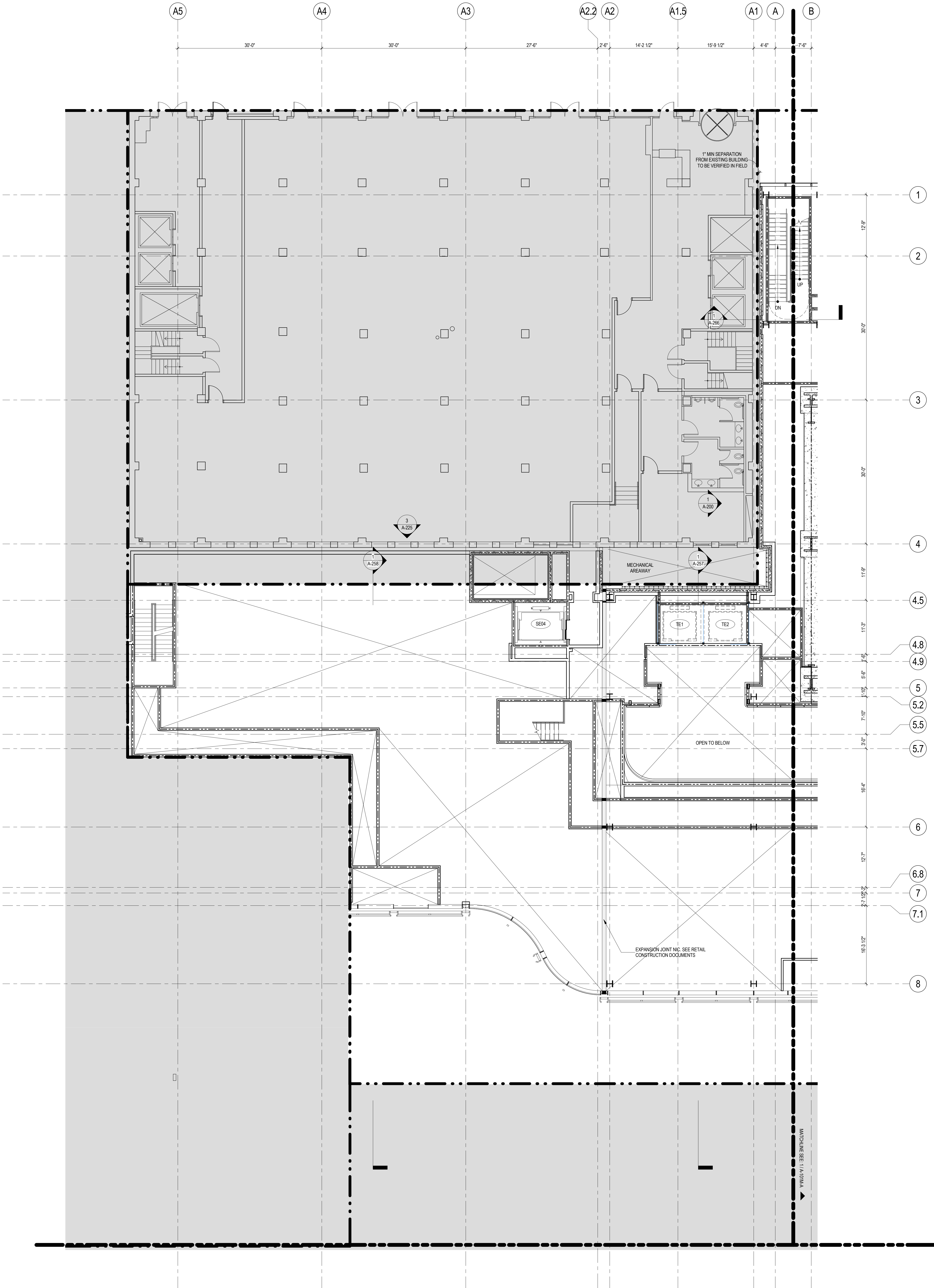
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Date: \_\_\_\_\_  
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File No.: A-101MA

B-SCAN Sheet No.: \_\_\_\_\_  
**A-180.00**  
Sheet No.: \_\_\_\_\_  
Page No.: \_\_\_\_\_

**Damian Titus**  
Buildings  
APPROVED  
Under Directive 2 of 2015  
INTERESTED PROFESSIONAL  
Date: 12/28/2017  
NYC Development Hub

9/7/2017 2:25:24 PM





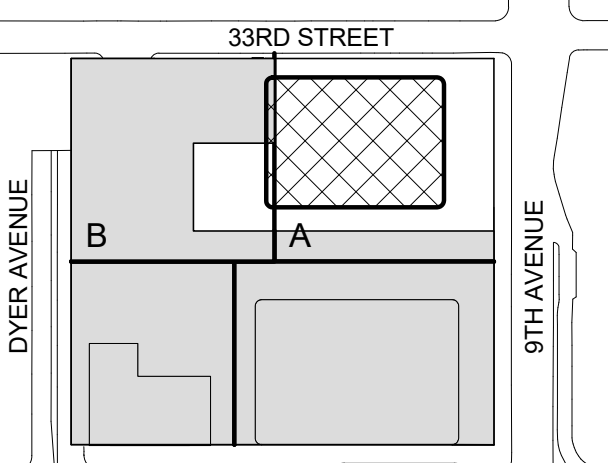
## GENERAL NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
2. ALL ELEVATION MARKS REFER TO FINISH FLOOR, UNO.
3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-005.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-005.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPPFP/ASCE/ETL SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
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11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
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17. GUARD RAILS COMPLIANT WITH SECTION BC 1012 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT OPEN SIDES OF ALL WALKING SURFACES, MEZZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS, AND LANDINGS LOCATED MORE THAN 30 INCHES ABOVE FLOORS BELOW.
18. HAND RAILS COMPLIANT WITH SECTION BC 1009.11 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT ALL RAMPS AND STAIRWAYS.
19. PARTITIONS THAT EXCEED LIMITING HEIGHTS TO BE PROVIDED WITH INTERMEDIATE HORIZONTAL AND VERTICAL STRUCTURAL SUPPORT FRAMING AS REQUIRED.
20. PARTITIONS SURROUNDING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION 710 OF THE NEW YORK CITY BUILDING CODE.
21. PROVIDE 6" WIDE BY 6" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE 6" TALL CURBS WITH WIDTH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO 300 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
22. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
23. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT.
24. REFER TO STRUCTURAL SERIES DRAWINGS FOR TYPICAL CURB DETAILS AND HOUSEKEEPING PAD DETAILS, REINFORCEMENT, AND MATERIAL TYPES.
25. PROVIDE PHOTO LUMINESCENT PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.16 & 1026 OF THE NEW YORK CITY BUILDING CODE.
26. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-005.
27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE/FIRE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHAFTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
28. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.
29. REFER TO A-550 - A-558 FOR ENCLOSURE GEOMETRY SET-OUT.

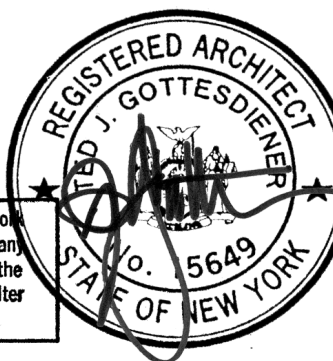
## SHEET NOTES

1. SEE L-SERIES FOR PLANTER DIMENSIONS, MATERIALS AND VEGETATION
2. SEE P-SERIES FOR DRAIN TYPES
3. SEE L-SERIES FOR BOLLARD FINISHES
4. SEE L-SERIES FOR SITE GRADING
5. SEE A-059-A-065 FOR EXPANSION JOINT LOCATIONS AND TYPES
6. RETAIL BUILDING STILL UNDER COORDINATION WITH MASTERPLAN

Key Plan:



Seal & Signature:



Warning: It is a violation of the New York State Architecture Law, § 201.03, for anyone, unless they are acting under the direction of a Licensed Architect, to alter this title in any way.



## LEVEL 1M FLOOR PLAN - PART B


|                     |                            |
|---------------------|----------------------------|
| Project No.: 207150 | B-SCAN Sheet No.: A-181.00 |
| Date:               | Sheet No.: A-101M-B        |
| Scale: 1/8" = 1'-0" | Page No.:                  |
| File No.: A-101M-B  |                            |



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|                             | E869727395E Scan Code   |                            |
|                             |   |                            |
|                             | MANHATTAN WEST:<br>NORTH TOWER<br>401 Ninth Avenue, New York, NY 10001  |                            |
|                             | Client<br><b>Brookfield</b><br>Brookfield Place<br>250 Vesey Street, 15th Floor, New York, NY 10281   |                            |
|                             | Architecture/Structural Engineering<br><b>SOM</b><br>Skidmore, Owings & Merrill LLP<br>14 Wall Street, New York, NY 10005   |                            |
|                             | Civil Engineering<br>Philip Habib & Associates<br>102 Madison Avenue #11, New York, NY 10016  |                            |
|                             | MEP Engineering<br>JAMES Baum & Bolles<br>80 Pine Street, New York, NY 10005  |                            |
|                             | Vertical Transportation<br>Edgett Williams Consulting Group, Inc.<br>102 East Blithedale Ave. Suite 1, Mill Valley, California 94041  |                            |
|                             | Sustainable Design<br>Viridian Energy & Environmental<br>50 Washington Street, Norwalk, CT 06854  |                            |
|                             | Geotechnical Engineering<br>Mueser Rutledge Consulting Engineers<br>14 Penn Plaza, 222 W. 36th Street, New York, NY 10122   |                            |
|                             | Landscape Consultant<br>Field Operations<br>475 10th Avenue, New York, NY 10018   |                            |
|                             | Security Consultant<br>Ducibella, Vento & Santoro<br>250 State Street #F1, North Haven, CT 06473  |                            |
|                             | Blair Consultant<br>Weidinger Associates, Inc.<br>40 Wall Street, New York, NY 10005  |                            |
|                             | Acoustical Consultant<br>Cerami & Associates<br>404 Fifth Avenue #B, New York, NY 10018   |                            |
|                             | Vibration Consultant<br>Wilson, Uhrig & Associates, Inc.<br>65 Broadway Street, New York, NY 10006  |                            |
|                             | Code Consultant<br>Code Consultants Professional Engineers PC<br>215 West 40th Street, 15th Floor, New York, NY 10018   |                            |
|                             | Facade Maintenance Consultant<br>Entek Engineering LLC<br>166 Ames Street, Hackensack, NJ 07601   |                            |
|                             | Wind Tunnel Consultant<br>Rowan Williams Davies & Irwin Inc.<br>650 Woodlawn Road West, Guelph Ontario, Canada N1K 1B5  |                            |
|                             |   |                            |
|                             | Key Plan:   |                            |
|                             |   |                            |
|                             | Seal & Signature:   |                            |
|                             |   |                            |
|                             | I hereby certify that the foregoing was prepared by me or under my direct supervision and control and that I am a duly Licensed Professional Engineer in the State of New York. |                            |
| No.                         | Date  | Description                |
| 2                           | 23 AUG 2017   | ISSUED FOR DOB APPROVAL    |
| 1                           | 22 APR 2016   | ISSUED FOR RAA             |
| Sheet Name:                 |   |                            |
| LEVEL 2 FLOOR PLAN - PART B |   |                            |
| Project No.: 2017108        |   | B-SCAN Sheet No.: A-182.01 |
| Date: 23 AUG 2017           |   | Sheet No.: A-102-B         |
| Scale: 1/8" = 1'-0"         |   | Page No.: 15 OF 25         |
| File No.: A-102-B           |   |                            |

|  |   |
|--|---|
|  | <p>Sustainable Design</p> <p><b>Viridian Energy &amp; Environmental</b><br/>50 Washington Street, Norwalk, CT 06854</p>   |
|  | <p>Geotechnical Engineering</p> <p><b>Mueser Rutledge Consulting Engineers</b><br/>14 Penn Plaza, 225 W. 34th Street, New York, NY 10122</p> <p>Landscape Consultant</p> <p><b>Field Operations</b><br/>475 10th Avenue, New York, NY 10018</p> |
|  | <p>Security Consultant</p> <p><b>Ducibella, Ventor &amp; Santoro</b><br/>250 State Street #F1, North Haven, CT 06473</p>  |
|  | <p>Blast Consultant</p> <p><b>Weidinger Associates, Inc.</b><br/>40 Wall Street, New York, NY 10005</p>   |
|  | <p>Acoustical Consultant</p> <p><b>Cerami &amp; Associates</b><br/>404 First Avenue #6, New York, NY 10018</p>  |
|  | <p>Vibration Consultant</p> <p><b>Wilson, Hight &amp; Associates, Inc.</b><br/>65 Broadway, Suite #1, New York, NY 10006</p>  |
|  | <p>Code Consultant</p> <p><b>Code Consultants Professional Engineers PC</b><br/>215 West 40th Street, 15th Floor, New York, NY 10018</p>  |
|  | <p>Facade Maintenance Consultant</p> <p><b>Entek Engineering LLC</b><br/>166 Ames Street, Hackensack, NJ 07601</p>  |
|  | <p>Wind Tunnel Consultant</p> <p><b>Rowan Williams Davies &amp; Irwin Inc.</b><br/>490 Woodmont Road West, Guildford Ontario, Canada N1K 1B8</p>  |

Seal and Signature:

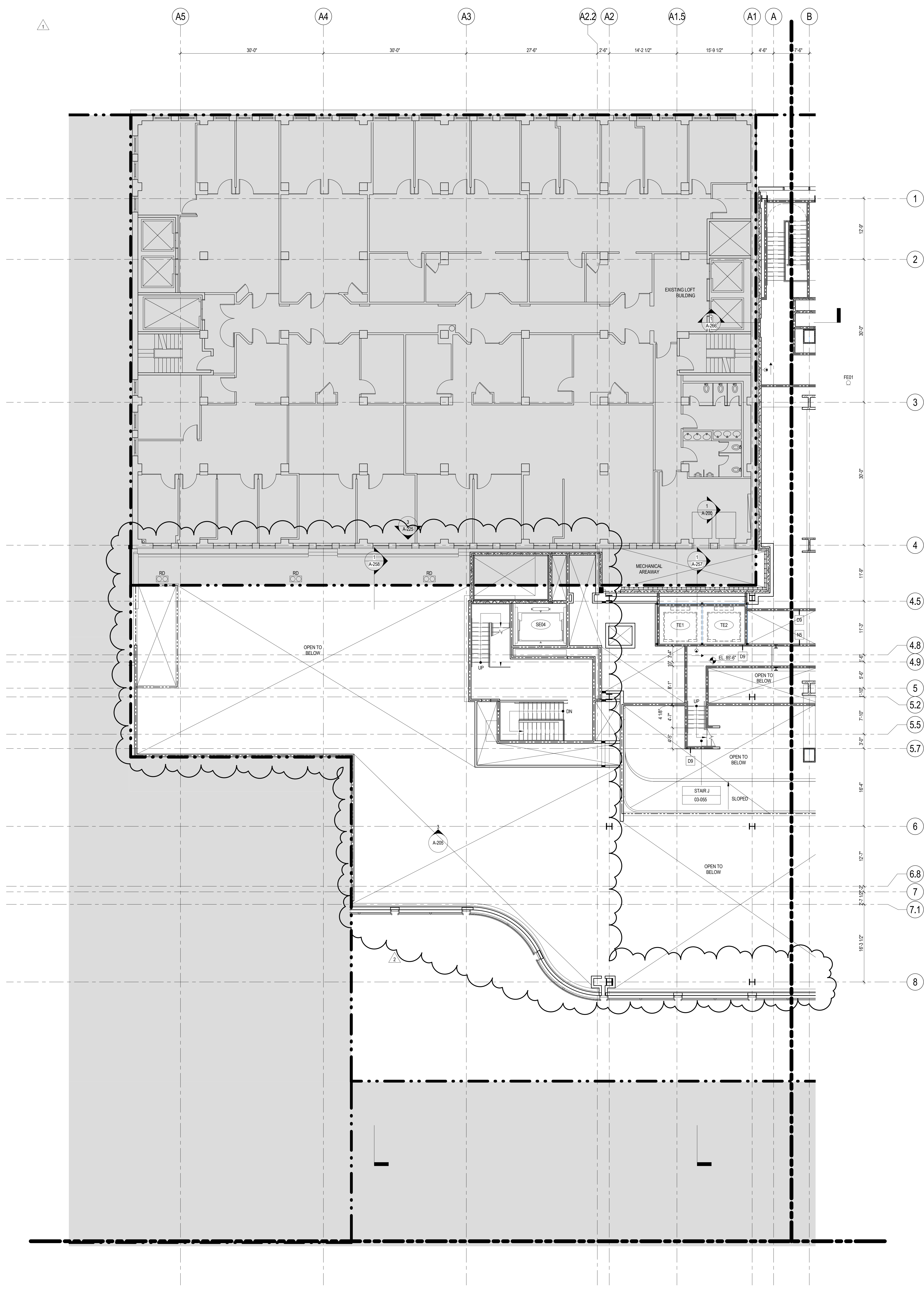


Violation of the New York  
are Law, §89-5(b) for any  
they are acting under the  
licensed Architect, to alter  
State in any way.

LEVEL 2 FLOOR  
PLAN - PART B

|                        |  |
|------------------------|--|
| Project No.:<br>207120 | B-SCAN Sheet No.:<br><br><h1>A-182.01</h1> |
| Date:<br>23 AUG 2017   |  |
| Scale:<br>1/8" = 1'-0" |  |
| File No.:<br>A-102-B   | Sheet No.:<br><br>A-102-B                  |
|                        | Page No.: 15 OF 25                         |





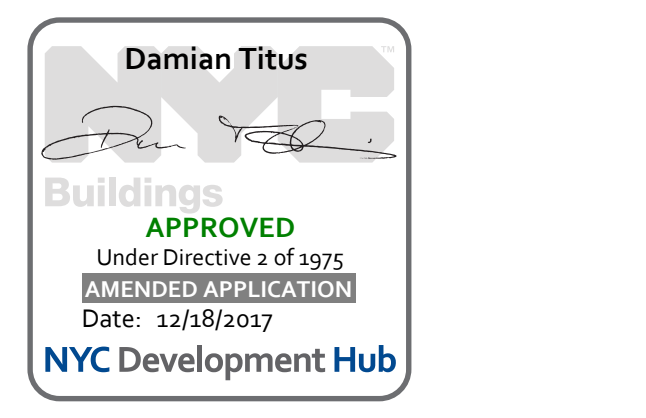
## GENERAL NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
2. ALL ELEVATION MARKS REFER TO FINISH FLOOR, UNO.
3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLASSIFICATION OF THE WORK NOTES REFER TO SHEET NO. 0-005.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. 0-008.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPPF/PA/SECTEL SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEPPF DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION ROOM, RISER AND EQUIPMENT DESIGNATIONS.
13. FOR PROJECT WORK POINT REFER TO A-000 SERIES DRAWINGS.
14. EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT EXISTING BUILDING MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
15. THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN PROVISIONS INDICATED IN SECTION BC 1910 OF THE 2008 NEW YORK CITY BUILDING CODE. REFER TO THE STRUCTURAL CALCULATION BOOK ISSUED ON JUNE 20, 2014 FOR SEISMIC LOAD DESIGN PARAMETERS.
16. REFER TO CIVIL SERIES DRAWINGS AND BUILDING PAVEMENT PLANS FOR UTILITY POINTS OF ENTRY. REFER TO DETAILS IN 500 SERIES FOR TYPICAL PENETRATION DETAILS.
17. GUARD RAILS COMPLIANT WITH SECTION BC 1012 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT OPEN SIDES OF ALL WALKING SURFACES, MEZZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS AND LANDINGS LOCATED MORE THAN 30 INCHES ABOVE FLOORS BELOW.
18. HAND RAILS COMPLIANT WITH SECTION BC 1009.11 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT ALL RAMPS AND STAIRWAYS.
19. PARTITIONS THAT EXCEED LIMITING HEIGHTS TO BE PROVIDED WITH INTERMEDIATE HORIZONTAL AND VERTICAL STRUCTURAL SUPPORT FRAMING AS REQUIRED.
20. PARTITIONS SURROUNDING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION 710 OF THE NEW YORK CITY BUILDING CODE.
21. PROVIDE 6" WIDE BY 6" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE 6" TALL CURBS WITH WIDTH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO 500 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
22. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
23. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT.
24. REFER TO STRUCTURAL SERIES DRAWINGS FOR TYPICAL CURB DETAILS AND HOUSEKEEPING PAD DETAILS, REINFORCEMENT, AND MATERIAL TYPES.
25. PROVIDE PHOTOLUMINESCENT PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.16 & 1026 OF THE NEW YORK CITY BUILDING CODE.
26. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. 0-005.
27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE/FIRE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHIFTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
28. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.
29. REFER TO A-050 - A-058 FOR ENCLOSURE GEOMETRY SET-OUT.

## SHEET NOTES

1. SEE L-SERIES FOR PLANTER DIMENSIONS, MATERIALS AND VEGETATION
2. SEE P-SERIES FOR DRAIN TYPES
3. SEE L-SERIES FOR BOLLARD FINISHES
4. SEE L-SERIES FOR SITE GRADING
5. SEE A-059-A-065 FOR EXPANSION JOINT LOCATIONS AND TYPES
6. RETAIL BUILDING STILL UNDER COORDINATION WITH MASTERPLAN

Seal & Signature:



**MANHATTAN WEST:  
NORTH TOWER**  
401 Ninth Avenue, New York, NY 10001  
Client

**Brookfield**  
Brookfield Place  
250 Vesey Street, 15th Floor, New York, NY 10021

Architecture/Structural Engineering

**SOM**  
Skidmore, Owings & Merrill LLP  
14 Wall Street, New York, NY 10005

Civil Engineering  
Philip Habib & Associates  
102 Madison Avenue #11, New York, NY 10016

MEP Engineering  
Jaros Baum & Bolles  
80 Pine Street, New York, NY 10005

Vertical Transportation  
Edgett Williams Consulting Group, Inc.  
102 East Bluffside Ave., Suite 1, Mill Valley, California 94041

Sustainable Design  
Viridian Energy & Environmental  
50 Washington Street, Norwalk, CT 06854

Geotechnical Engineering  
Mueser Rutledge Consulting Engineers  
14 Penn Plaza, 225 W. 34th Street, New York, NY 10122

Field Operations  
475 10th Avenue, New York, NY 10018

Security Consultant  
Ducibella, Ventor & Santoro  
250 State Street #F1, North Haven, CT 06473

Blast Consultant  
Weidinger Associates, Inc.  
40 Wall Street, New York, NY 10005

Acoustical Consultant  
Cerami & Associates  
404 Fifth Avenue #8, New York, NY 10016

Vibration Consultant  
Wilson, Uhrig & Associates, Inc.  
65 Broadway, Suite 401, New York, NY 10006

Code Consultant  
Code Consultants Professional Engineers PC  
215 West 40th Street, 15th Floor, New York, NY 10018

Facade Maintenance Consultant  
Entek Engineering LLC  
166 Ames Street, Hackensack, NJ 07601

Wind Tunnel Consultant  
Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph Ontario, Canada N1K 1B8

Key Plan:

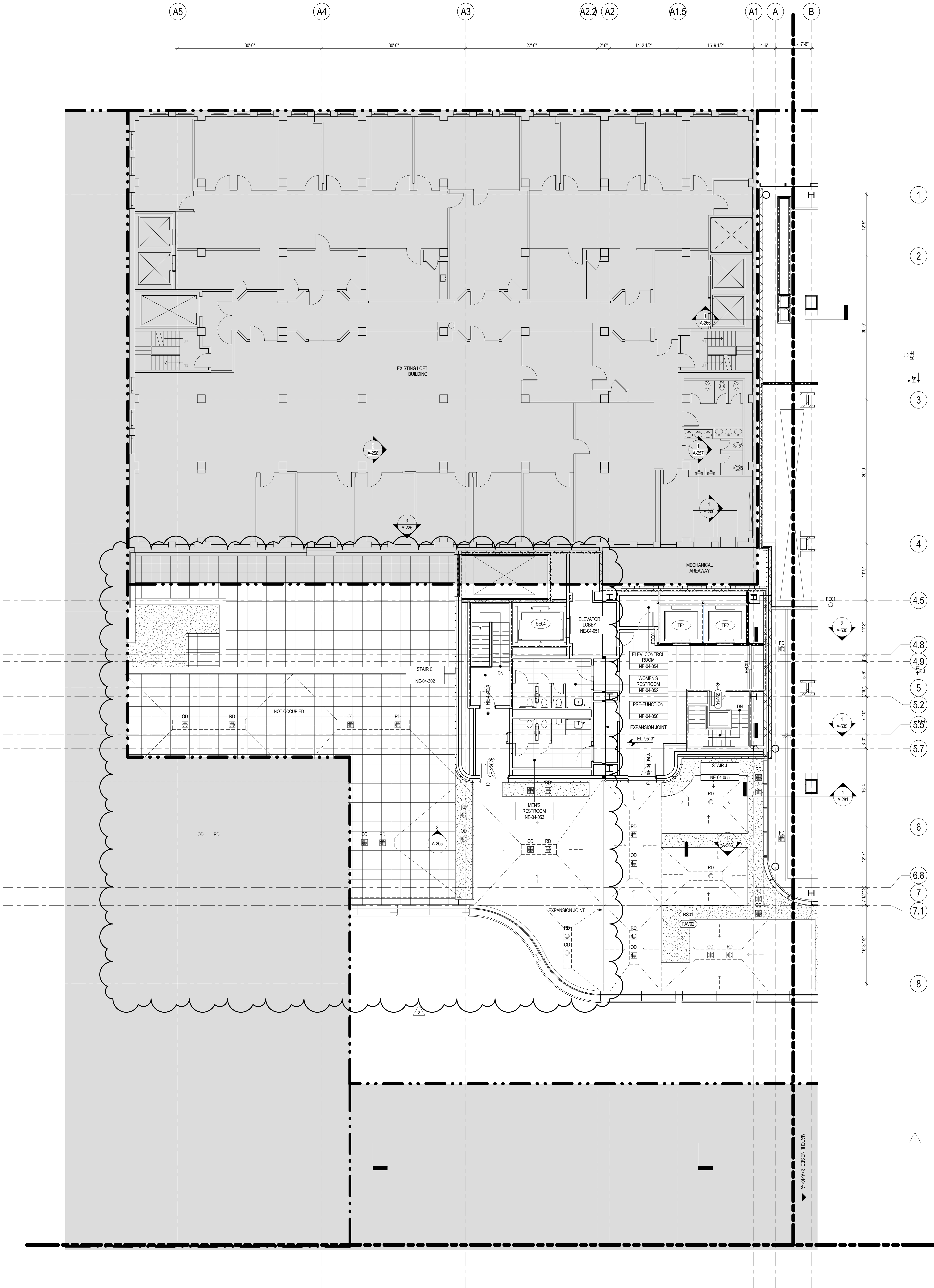
2 23 AUG 2017 ISSUED FOR DOB APPROVAL  
1 22 APR 2016 ISSUED FOR P&A

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| Sheet Name: |      |             |

**LEVEL 3 FLOOR  
PLAN - PART B**

|                     |                            |
|---------------------|----------------------------|
| Project No.: 207150 | B-SCAN Sheet No.: A-183.01 |
| Date: 23 AUG 2017   | Sheet No.: A-103-B         |
| Scale: 1/8" = 1'-0" | Page No.: 17 OF 25         |
| File No.: A-103-B   |                            |





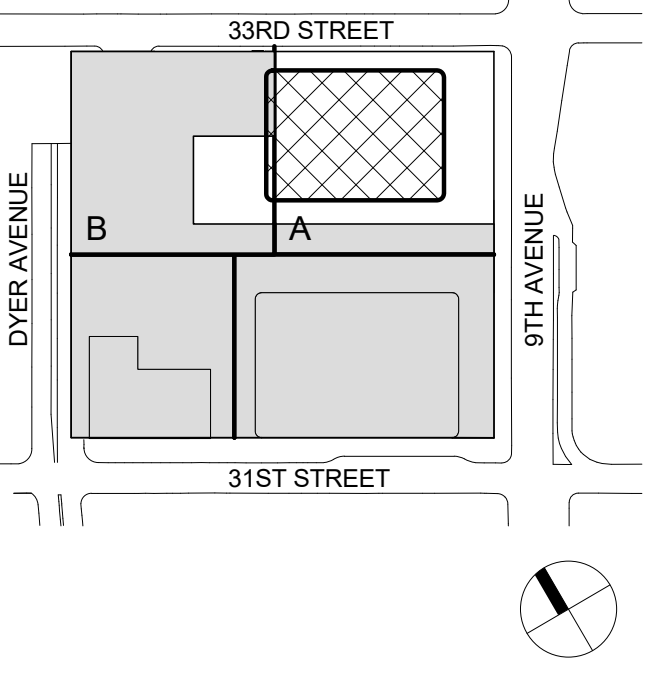
## GENERAL NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVB8).
2. ALL ELEVATION MARKS REFER TO FINISH FLOOR, UNO.
3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. 0-005.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. 0-006.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF ROOF IS NOT PROVIDED SEE MEPPFP/ASCE/ETL SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEPPFP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION ROOM, RISER AND EQUIPMENT DESIGNATIONS.
13. FOR PROJECT WORK POINT REFER TO A-000 SERIES DRAWINGS.
14. EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT LOFT BUILDING MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
15. THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN PROVISIONS INDICATED IN SECTION BC 1910 OF THE 2008 NEW YORK CITY BUILDING CODE. REFER TO THE STRUCTURAL CALCULATION BOOK ISSUED ON JUNE 20, 2014 FOR SEISMIC LOAD DESIGN PARAMETERS.
16. REFER TO CIVIL SERIES DRAWINGS AND BUILDING PAVEMENT PLANS FOR UTILITY POINTS OF ENTRY. REFER TO DETAILS IN 500 SERIES FOR TYPICAL PENETRATION DETAILS.
17. GUARD RAILS COMPLIANT WITH SECTION BC 1012 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT OPEN SIDES OF ALL WALKING SURFACES, MEZZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS AND LANDINGS LOCATED MORE THAN 30 INCHES ABOVE FLOORS BELOW.
18. HAND RAILS COMPLIANT WITH SECTION BC 1009.11 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT ALL RAMPS AND STAIRWAYS.
19. PARTITIONS THAT EXCEED LIMITING HEIGHTS TO BE PROVIDED WITH INTERMEDIATE HORIZONTAL AND VERTICAL STRUCTURAL SUPPORT FRAMING AS REQUIRED.
20. PARTITIONS SURROUNDING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION 710 OF THE NEW YORK CITY BUILDING CODE.
21. PROVIDE 6" WIDE BY 6" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE 6" TALL CURBS WITH WIDTH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO 500 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
22. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
23. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT.
24. REFER TO STRUCTURAL SERIES DRAWINGS FOR TYPICAL CURB DETAILS AND HOUSEKEEPING PAD DETAILS, REINFORCEMENT, AND MATERIAL TYPES.
25. PROVIDE PHOTOLUMINESCENT PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.16 & 408 OF THE NEW YORK CITY BUILDING CODE.
26. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. 0-006.
27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE/FIRE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHAFTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
28. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.
29. REFER TO A-050 - A-058 FOR ENCLOSURE GEOMETRY SET-OUT.

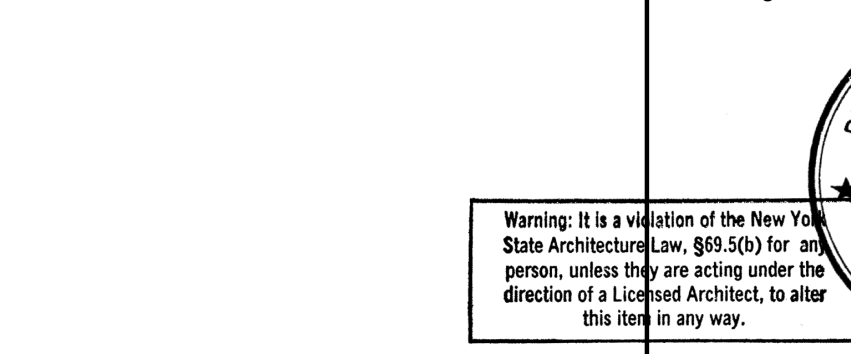
## SHEET NOTES

1. SEE L-SERIES FOR PLANTER DIMENSIONS, MATERIALS AND VEGETATION
2. SEE P-SERIES FOR DRAIN TYPES
3. SEE L-SERIES FOR BOLLARD FINISHES
4. SEE L-SERIES FOR SITE GRADING
5. SEE A-059-A-065 FOR EXPANSION JOINT LOCATIONS AND TYPES
6. RETAIL BUILDING STILL UNDER COORDINATION WITH MASTERPLAN

Key Plan:



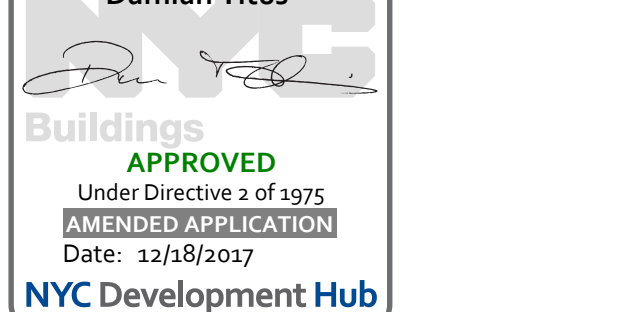
Seal & Signature:



2 23 AUG 2017 ISSUED FOR DOB APPROVAL  
1 22 APR 2016 ISSUED FOR P&A

No. Date Description  
Sheet Name:

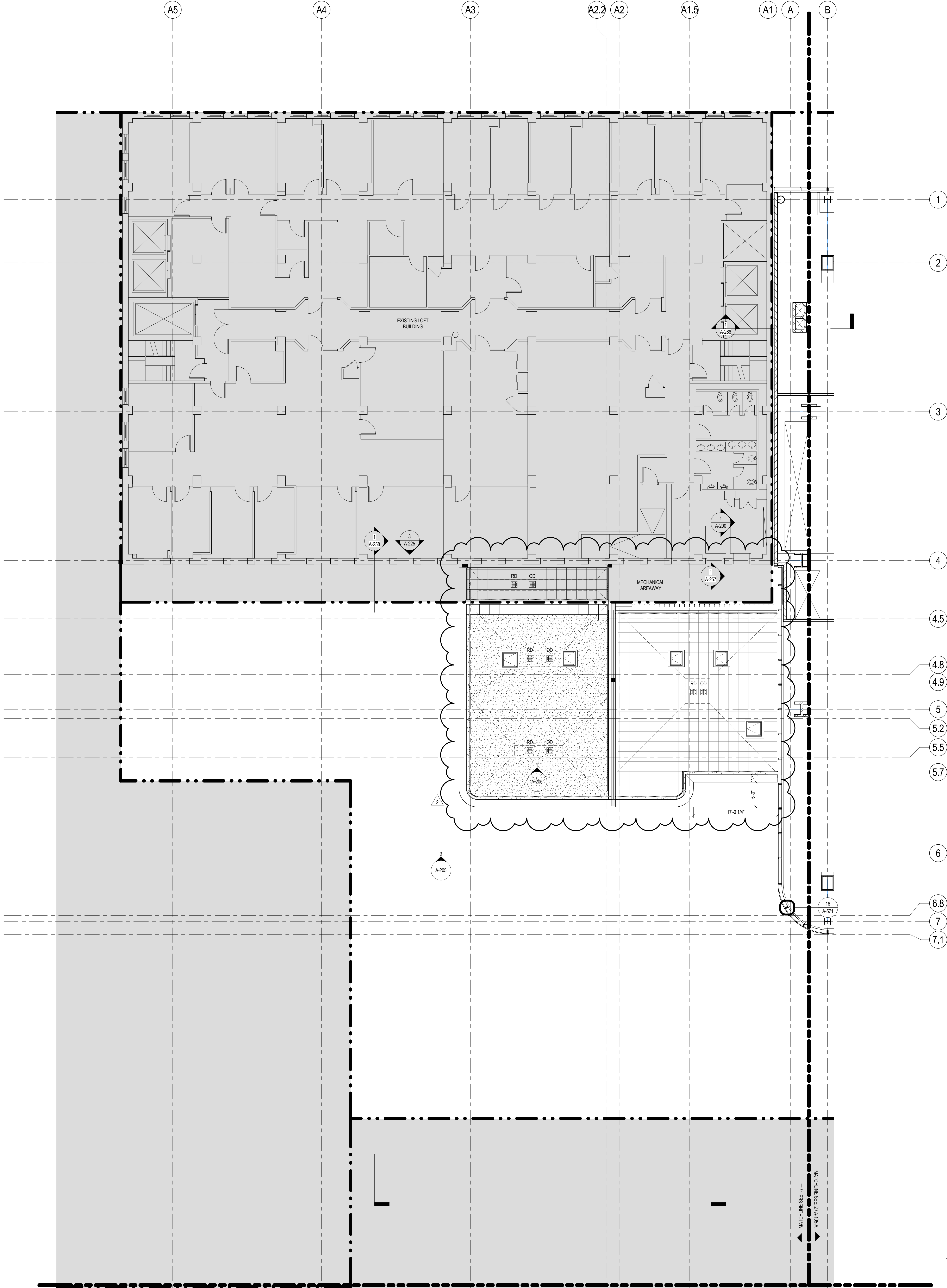
LEVEL 4 FLOOR  
PLAN - PART B



Project No.: 207150  
Date: 23 AUG 2017  
Scale: 1/8" = 1'-0"  
File No.: A-104-B

B-SCAN Sheet No.: A-184.01  
Sheet No.: A-104-B  
Page No.: 19 OF 25





## GENERAL NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
2. ALL ELEVATION MARKS REFER TO FINISH FLOOR, UNO.
3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-505.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-008.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPPF/PA/SECTEL SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEPPF DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION ROOM, RISER AND EQUIPMENT DESIGNATIONS.
13. FOR PROJECT WORK POINT REFER TO A-600 SERIES DRAWINGS.
14. EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT CITY BUILDING MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
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16. REFER TO CIVIL SERIES DRAWINGS AND BUILDING PAVEMENT PLANS FOR UTILITY POINTS OF ENTRY. REFER TO DETAILS IN S-500 SERIES FOR TYPICAL PENETRATION DETAILS.
17. GUARD RAILS COMPLIANT WITH SECTION BC 1012 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT OPEN SIDES OF ALL WALKING SURFACES, MEZZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS AND LANDINGS LOCATED MORE THAN 30 INCHES ABOVE FLOORS BELOW.
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21. PROVIDE 6" WIDE BY 6" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE 6" TALL CURBS WITH WIDTH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO S-500 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
22. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
23. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT.
24. REFER TO STRUCTURAL SERIES DRAWINGS FOR TYPICAL CURB DETAILS AND HOUSEKEEPING PAD DETAILS, REINFORCEMENT, AND MATERIAL TYPES.
25. PROVIDE PHOTOLUMINESCENT PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.16 & 1025 OF THE NEW YORK CITY BUILDING CODE.
26. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-005.
27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE/FIRE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHIFTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
28. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.
29. REFER TO A-500 - A-508 FOR ENCLOSURE GEOMETRY SET-OUT.

## SHEET NOTES

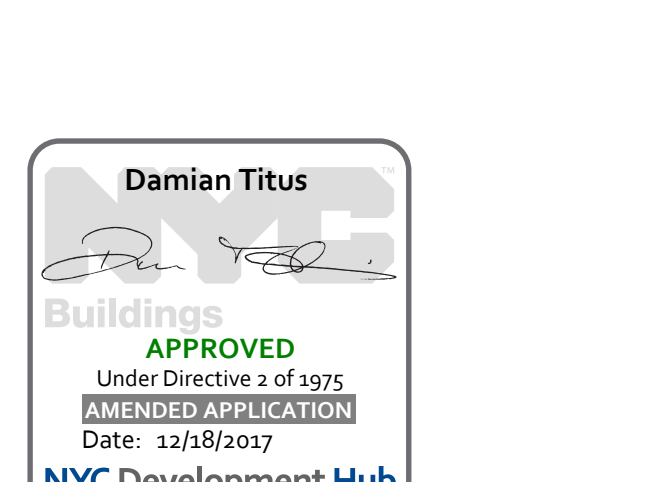
1. SEE L-SERIES FOR PLANTER DIMENSIONS, MATERIALS AND VEGETATION
2. SEE P-SERIES FOR DRAIN TYPES
3. SEE L-SERIES FOR BOLLARD FINISHES
4. SEE L-SERIES FOR SITE GRADING
5. SEE A-059-A-065 FOR EXPANSION JOINT LOCATIONS AND TYPES
6. RETAIL BUILDING STILL UNDER COORDINATION WITH MASTERPLAN

Seal & Signature:



|             |             |                         |
|-------------|-------------|-------------------------|
| 1           | 22 APR 2016 | ISSUED FOR P&A          |
| 2           | 23 AUG 2017 | ISSUED FOR DOB APPROVAL |
| No.         | Date        | Description             |
| Sheet Name: |             |                         |

LEVEL 5 FLOOR  
PLAN - PART B



|                     |                            |
|---------------------|----------------------------|
| Project No.: 207150 | B-SCAN Sheet No.: A-185.01 |
| Date: 23 AUG 2017   | Sheet No.: A-105-B         |
| Scale: 1/8" = 1'-0" | Page No.: 21 OF 69         |
| File No.: A-105-B   |                            |

**MANHATTAN WEST:  
NORTH TOWER**  
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Architecture/Structural Engineering

**SOM**  
Skidmore, Owings & Merrill LLP  
14 Wall Street, New York, NY 10005

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Code Consultants Professional Engineers PC  
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186 Ames Street, Hackensack, NJ 07601

Wind Tunnel Consultant  
Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph Ontario, Canada N1K 1B8

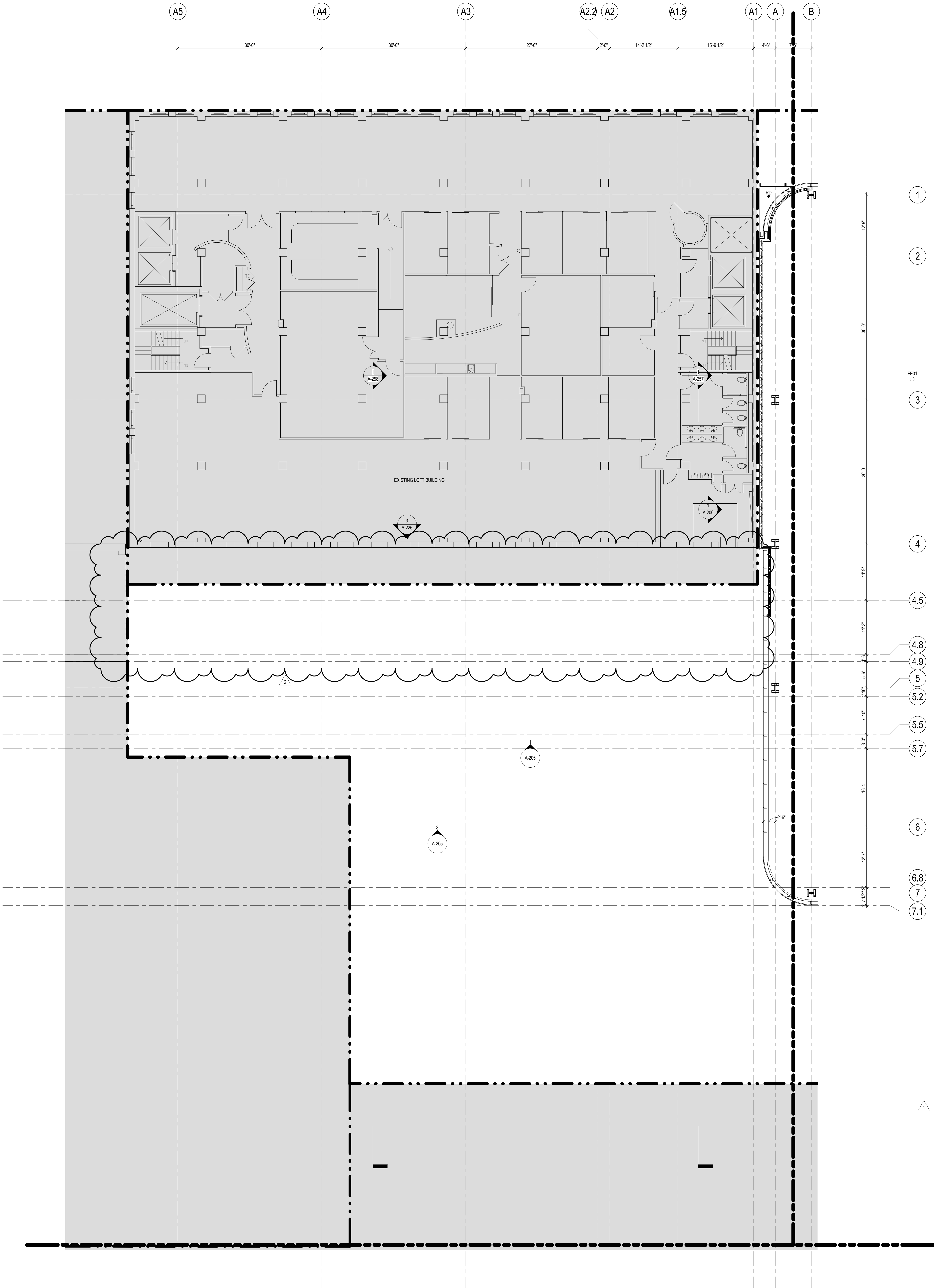
Key Plan:

Seal & Signature:

Warning: It is a violation of the New York State Architecture Law, § 201.0(a)(1)(i) for persons, unless they are acting under the direction of a Licensed Architect, to alter this title in any way.

|                     |                            |
|---------------------|----------------------------|
| Project No.: 207150 | B-SCAN Sheet No.: A-185.01 |
| Date: 23 AUG 2017   | Sheet No.: A-105-B         |
| Scale: 1/8" = 1'-0" | Page No.: 21 OF 69         |
| File No.: A-105-B   |                            |





## GENERAL NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
2. ALL ELEVATION MARKS REFER TO FINISH FLOOR, UNO.
3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-005.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-006.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPPFP/ASCE/TEL SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEPPFP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION ROOM, RISER AND EQUIPMENT DESIGNATIONS.
13. FOR PROJECT WORK POINT REFER TO A-000 SERIES DRAWINGS.
14. EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT LOFT BUILDING MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
15. THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN PROVISIONS INDICATED IN SECTION BC 1910 OF THE 2008 NEW YORK CITY BUILDING CODE. REFER TO THE STRUCTURAL CALCULATION BOOK ISSUED ON JUNE 20, 2014 FOR SEISMIC LOAD DESIGN PARAMETERS.
16. REFER TO CIVIL SERIES DRAWINGS AND BUILDING PAVEMENT PLANS FOR UTILITY POINTS OF ENTRY. REFER TO DETAILS IN 500 SERIES FOR TYPICAL PENETRATION DETAILS.
17. GUARD RAILS COMPLIANT WITH SECTION BC 1012 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT OPEN SIDES OF ALL WALKING SURFACES, MEZZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS, AND LANDINGS LOCATED MORE THAN 30 INCHES ABOVE FLOORS BELOW.
18. HAND RAILS COMPLIANT WITH SECTION BC 1009.11 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT ALL RAMPS AND STAIRWAYS.
19. PARTITIONS THAT EXCEED LIMITING HEIGHTS TO BE PROVIDED WITH INTERMEDIATE HORIZONTAL AND VERTICAL STRUCTURAL SUPPORT FRAMING AS REQUIRED.
20. PARTITIONS SURROUNDING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION 710 OF THE NEW YORK CITY BUILDING CODE.
21. PROVIDE 6" WIDE BY 6" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE 6" TALL CURBS WITH NOTCH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO 500 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
22. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
23. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT.
24. REFER TO STRUCTURAL SERIES DRAWINGS FOR TYPICAL CURB DETAILS AND HOUSEKEEPING PAD DETAILS, REINFORCEMENT, AND MATERIAL TYPES.
25. PROVIDE PHOTO LUMINESCENT PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.16 & 1026 OF THE NEW YORK CITY BUILDING CODE.
26. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-005.
27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE/FIRE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHAFTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
28. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.
29. REFER TO A-050 - A-058 FOR ENCLOSURE GEOMETRY SET-OUT.

## SHEET NOTES

1. SEE L-SERIES FOR PLANTER DIMENSIONS, MATERIALS AND VEGETATION.
2. SEE P-SERIES FOR DRAIN TYPES.
3. SEE L-SERIES FOR BOLLARD FINISHES.
4. SEE L-SERIES FOR SITE GRADING.
5. SEE A-059-A-065 FOR EXPANSION JOINT LOCATIONS AND TYPES.
6. RETAIL BUILDING STILL UNDER COORDINATION WITH MASTERPLAN.



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Code Consultants Professional Engineers PC  
215 West 40th Street, 15th Floor, New York, NY 10018

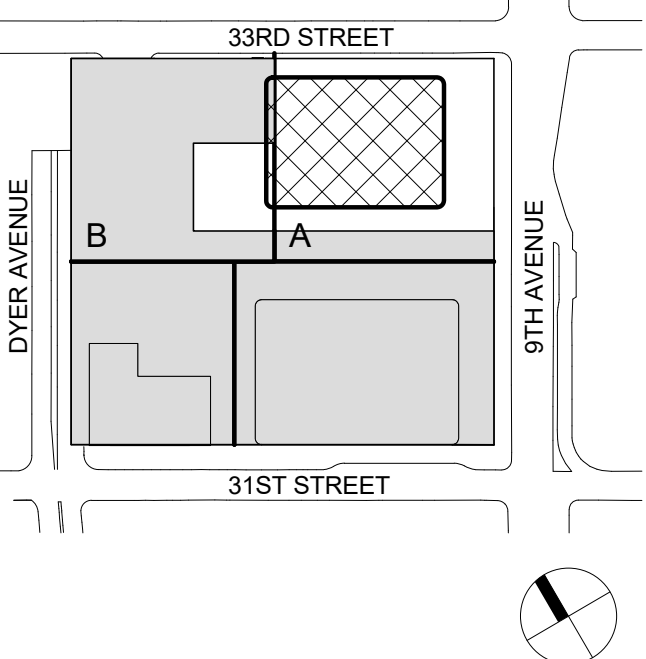
Facade Maintenance Consultant

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166 Ames Street, Hackensack, NJ 07601

Wind Tunnel Consultant

Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8

Key Plan:



Seal & Signature:



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| No. | Date        | Description             |
| 1   | 22 APR 2016 | ISSUED FOR P&A          |
| 2   | 23 AUG 2017 | ISSUED FOR DOB APPROVAL |

Sheet Name:

**LEVEL 6-16  
FLOOR PLAN -  
PART B**

Project No.: 207150

Date: 23 AUG 2017

Scale: 1/8" = 1'-0"

File No.: A-106-B

B-SCAN Sheet No.: A-186.01

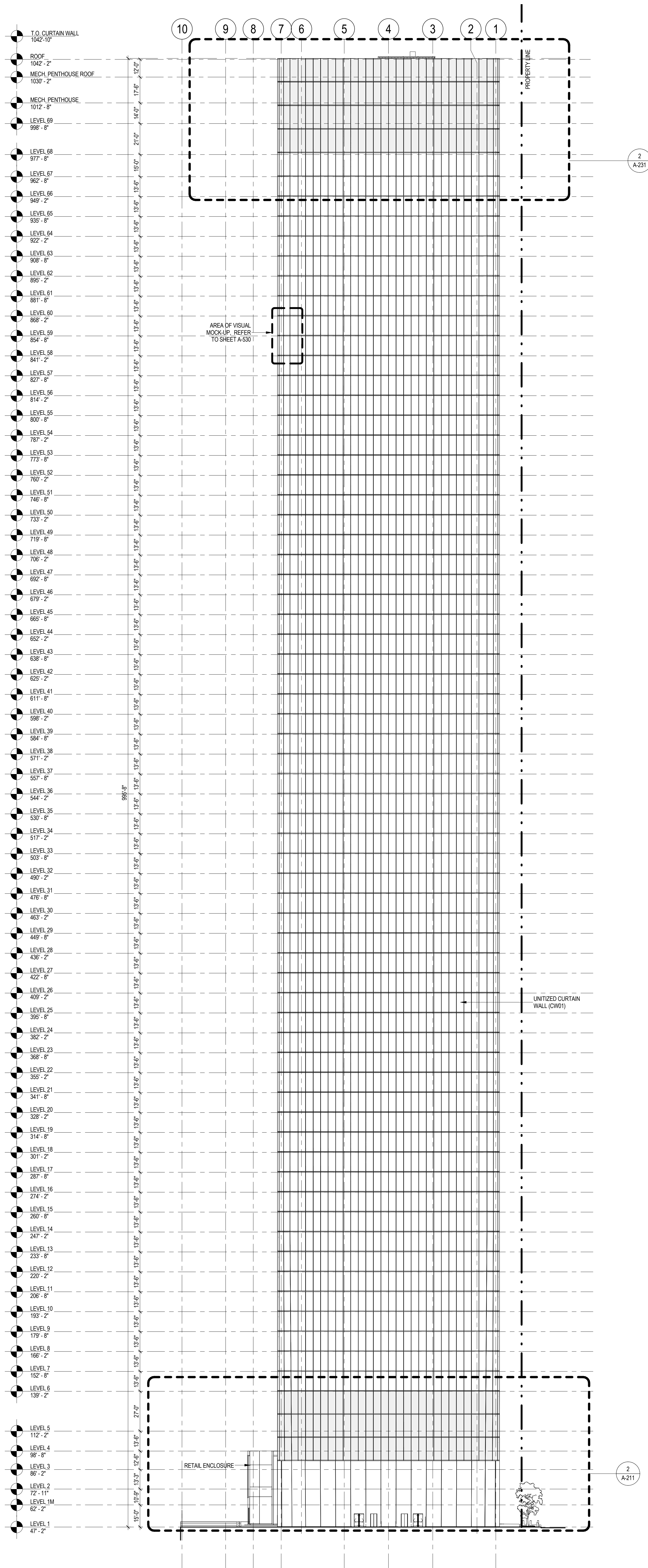
Sheet No.: A-106-B

Page No.:



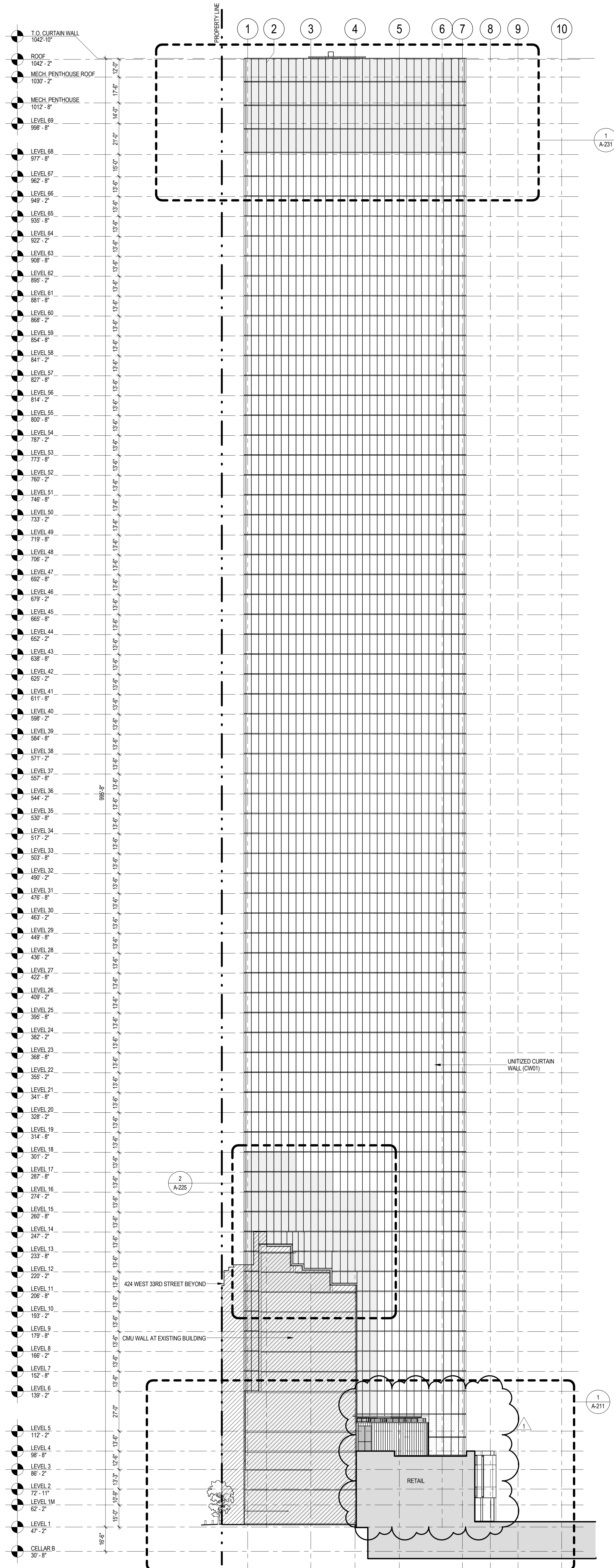
## 2 EAST BUILDING ELEVATION

SCALE: 1/32" = 1'-0"



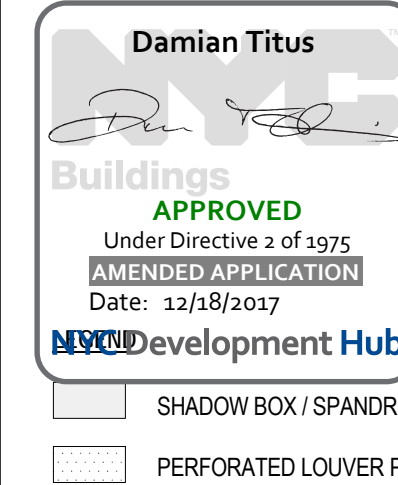
## 1 WEST BUILDING ELEVATION

SCALE: 1/32" = 1'-0"



### SHEET NOTES

- SEE 600 SERIES FOR ENCLOSURE DETAILS
- EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT LOT BUILDING MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
- SEE PM SERIES FOR FACADE MAINTENANCE LOCATIONS AND DETAILS.
- THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN PROVISIONS INDICATED IN SECTION 80.1910 OF THE 2009 NEW YORK CITY BUILDING CODE. REFER TO THE STRUCTURAL CALCULATION BOOK ISSUED ON JUNE 20, 2014 FOR SEISMIC LOAD DESIGN PARAMETERS.
- BUILDING MUST BE SEPARATED FROM ADJACENT STRUCTURE BY 1" FOR EVERY 50'-0" IN HEIGHT.
- SEE A-500 - A-508 FOR GEOMETRY SET-OUT
- FOR WIND PRESSURE DIAGRAM, REFER TO APPENDIX A OF THE SPECIFICATION
- SEE SHEETS A-509 THRU A-585 FOR EXPANSION JOINT LOCATIONS AND REQUIREMENTS



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Code Consultant

Code Consultants Professional Engineers PC  
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Facade Maintenance Consultant

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166 Ames Street, Hackensack, NJ 07601

Wind Tunnel Consultant

Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8

Key Plan:

Seal & Signature:

Warning: It is a violation of the New York State Architecture Law (S.B. 100) for persons, unless they are acting under the direction of a Licensed Architect, to alter this seal in any way.

| No. | Date        | Description             |
|-----|-------------|-------------------------|
| 1   | 23 AUG 2017 | ISSUED FOR O&B APPROVAL |

Sheet Name: **BUILDING ELEVATIONS**

| Project No.: | B-SCAN Sheet No.: |
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| 207150       | A-200.01          |

| Date:       | Scale:        |
|-------------|---------------|
| 23 AUG 2017 | 1/32" = 1'-0" |

| File No.: | Page No.: |
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| A-200     | 61 OF     |

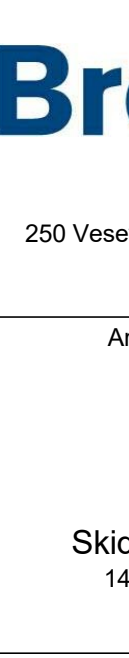




- Ontario, Canada N1K 1B8

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| File No.:<br>4-201 | Page No.:<br>62 OF |
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# MANHATTAN WEST: NORTH TOWER

401 Ninth Avenue, New York, NY 10001

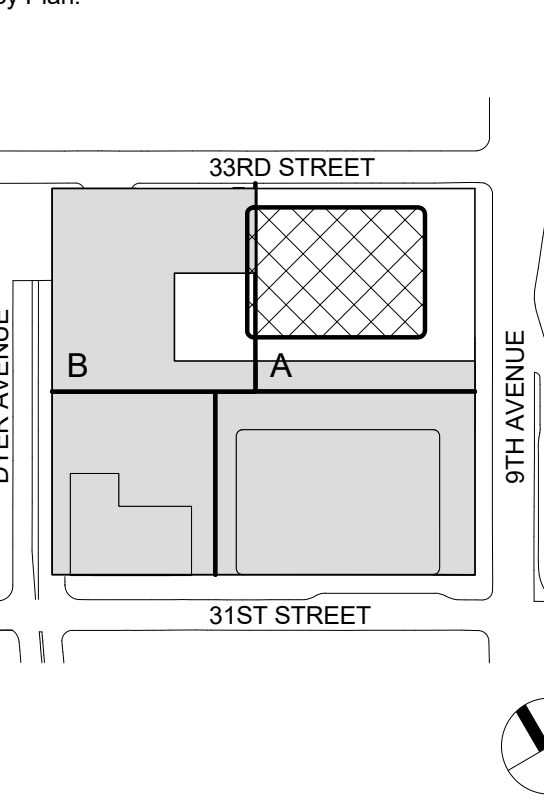
Client

## Brookfield

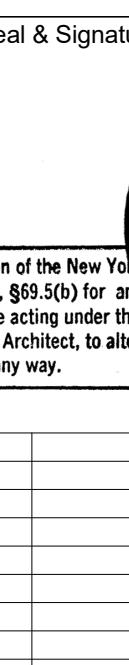
Brookfield Place  
250 Vesey Street, 15th Floor, New York, NY 10021

|                                     |  |
|-------------------------------------|--|
| Architecture/Structural Engineering | <p><b>SOM</b></p> <p>Skidmore, Owings &amp; Merrill LLP<br/>14 Wall Street, New York, NY 10005</p>               |
| Civil Engineering                   | <p>Philip Habib &amp; Associates<br/>102 Madison Avenue #11, New York, NY 10016</p>                              |
| MEP Engineering                     | <p>Jaros Baum &amp; Bolles<br/>80 Pine Street, New York, NY 10005</p>  |
| Vertical Transportation             | <p>Eddgett Williams Consulting Group, Inc.<br/>102 East Bithwade Ave, Suite 1, Mill Valley, California 94041</p> |
| Sustainable Design                  | <p>Viridian Energy &amp; Environmental<br/>60 Washington Street, Norwalk, CT 06854</p>                           |
| Geotechnical Engineering            | <p>Mueser Rutledge Consulting Engineers<br/>14 Penn Plaza, 225 W. 34th Street, New York, NY 10122</p>            |
| Landscape Operations                | <p>Field Operations<br/>475 10th Avenue, New York, NY 10018</p>  |
| Security Consultant                 | <p>Ducibella, Reilly &amp; Santoro<br/>250 State Street #F1, North Haven, CT 06473</p>                           |
| Blast Consultant                    | <p>Weidinger Associates, Inc.<br/>40 Wall Street, New York, NY 10005</p>   |
| Acoustical Consultant               | <p>Cerami &amp; Associates<br/>404 Fifth Avenue #8, New York, NY 10018</p>                                       |
| Vibration Consultant                | <p>Wilson, Uhrig &amp; Associates, Inc.<br/>65 Broadway, Suite 401, New York, NY 10006</p>                       |
| Code Consultant                     | <p>Code Consultants Professional Engineers PC<br/>215 West 40th Street, 15th Floor, New York, NY 10018</p>       |
| Facade Maintenance Consultant       | <p>Entek Engineering LLC<br/>166 Ames Street, Hackensack, NJ 07601</p>   |
| Wind Tunnel Consultant              | <p>Rowan Williams Davies &amp; Irwin Inc.<br/>650 Woodlawn Road West, Guelph Ontario, Canada N1K 1B6</p>         |

Key Plan:



Seal & Signature:



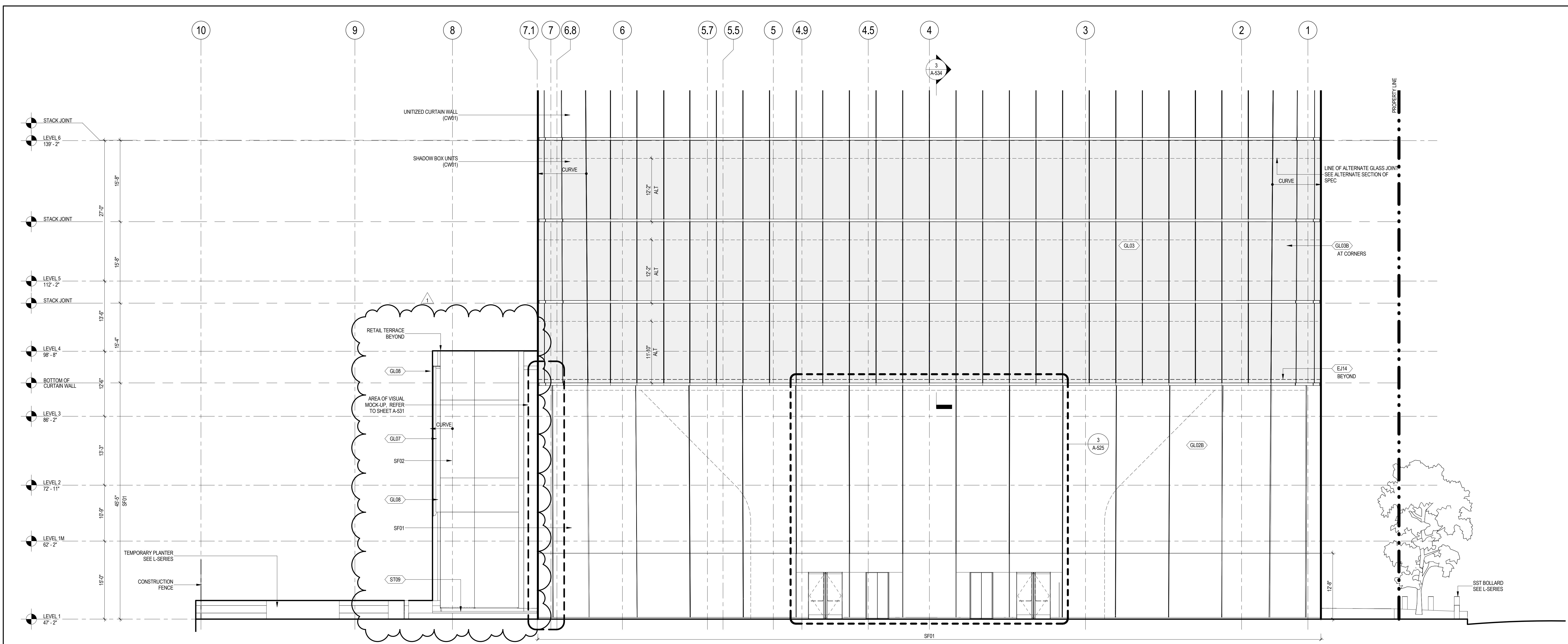
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| 3   | 23 AUG 2017 | ISSUED FOR DOB APPROVAL    |
| 2   | 07 OCT 2015 | ISSUED FOR BUILDING PERMIT |
| 1   | 21 AUG 2015 | ISSUED FOR BUILDING PERMIT |
| No. | Date        | Description                |

Sheet Name:

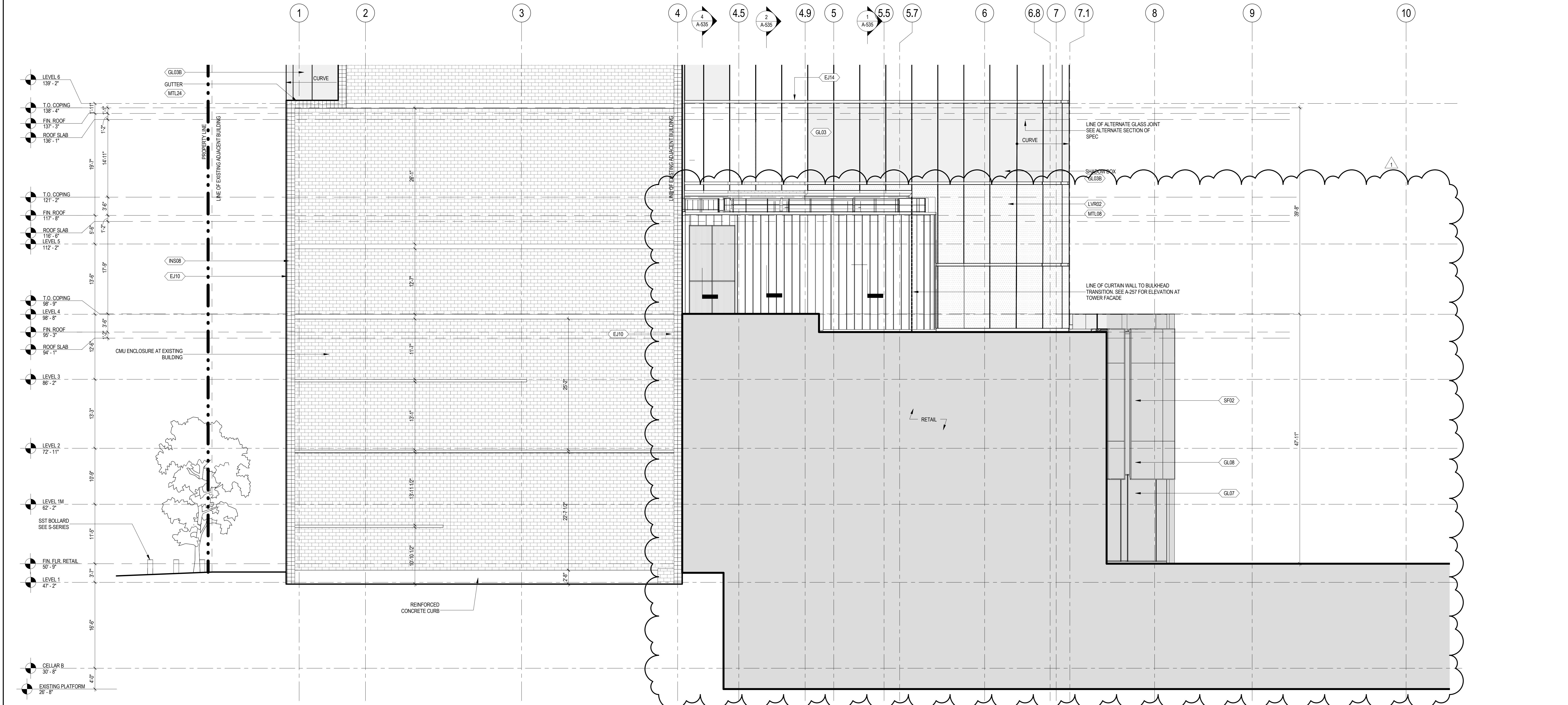
# ENLARGED ELEVATIONS AT GROUND FLOOR

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| Project No.: | B-SCAN Sheet No.: |
| Date:        | <b>A-210.01</b>   |
| 23 AUG 2017  |                   |
| Scale:       | <b>A-210</b>      |
| 1"8" = 1'-0" |                   |
| File No.:    | Page No.:         |
| 1810         | 67 OF             |





2 ENLARGED ELEVATION AT GROUND FLOOR LOOKING WEST  
SCALE: 1/8" = 1'-0"



1 ENLARGED ELEVATION AT GROUND FLOOR LOOKING EAST  
SCALE: 1/8" = 1'-0"

### SHEET NOTES

- SEE 500 SERIES FOR ENCLOSURE DETAILS
- EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT LOT BUILDING MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
- SEE FM-SERIES FOR FACADE MAINTENANCE LOCATIONS AND DETAILS.
- THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN PROVISIONS INDICATED IN SECTION BC 1903 OF THE 2008 NEW YORK CITY BUILDING CODE. REFER TO THE STRUCTURAL CALCULATION BOOK ISSUED ON JUNE 20, 2014 FOR SEISMIC LOAD DESIGN PARAMETERS.
- BUILDING MUST BE SEPARATED FROM ADJACENT STRUCTURE BY 1" FOR EVERY 50'-0" IN HEIGHT.
- SEE A-550 - A-558 FOR GEOMETRY SET-OUT
- FOR WIND PRESSURE DIAGRAM, REFER TO APPENDIX A OF THE SPECIFICATION
- SEE SHEETS A-559 THRU A-565 FOR EXPANSION JOINT LOCATIONS AND REQUIREMENTS

### MANHATTAN WEST: NORTH TOWER

401 Ninth Avenue, New York, NY 10001  
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650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8

Key Plan:

Seal & Signature:

Warning: It is a violation of the New York State Architecture Law, §16-150, for persons, unless they are acting under the direction of a Licensed Architect, to alter this form in any way.

1 23 AUG 2017 ISSUED FOR OOB APPROVAL  
No. Date Description  
Sheet Name:

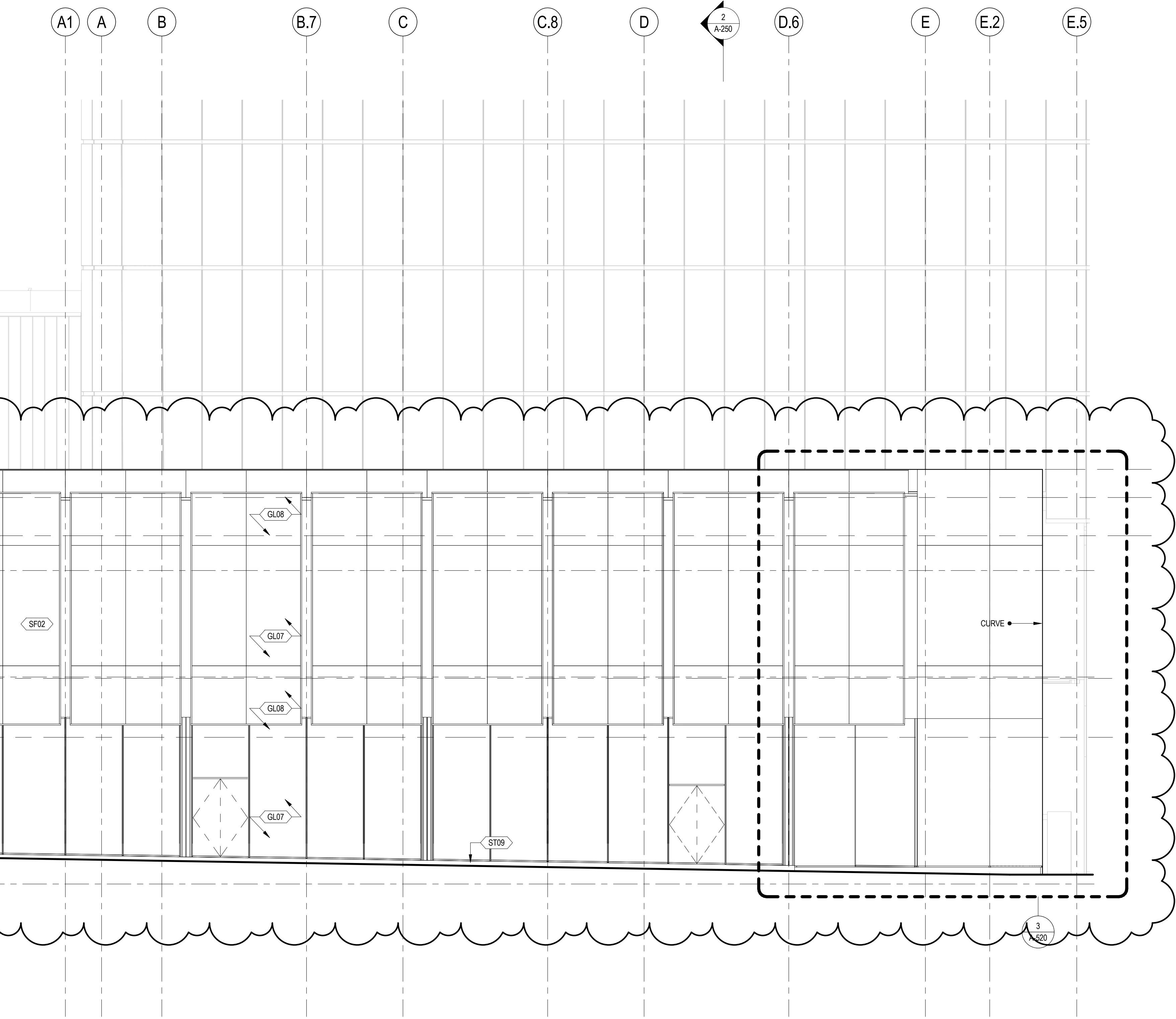
### ENLARGED ELEVATIONS AT GROUND FLOOR

Project No.: 207150  
Date: 23 AUG 2017  
Scale: 1/8" = 1'-0"  
File No.: A-211

B-SCAN Sheet No.:  
**A-211.01**  
Sheet No.:  
**A-211**  
Page No.: 68 OF

Damian Titus  
Buildings  
APPROVED  
Under Directive 2 of 1975  
UNOFFICIAL SIGNATURE  
Date: 12/15/2017  
NYC SHADOW BOX  
NYC SHADOW BOX  
LOUVER PANEL





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| File No.: A-225 | Page No.: 32 of 37 |
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| File No.: A-225 | Page No.: 32 of 37 |
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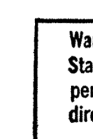
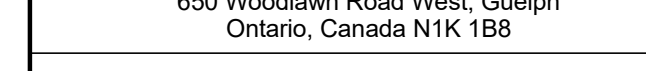
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| File No.: A-225 | Page No.: 32 of 37 |
|-----------------|--------------------|






1. ALL BUILDING ELEVATIONS (VERTICAL) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (MGS/88)
2. ALL ELEVATION MARKS REFER TO FINISH FLOOR, UNLESS NOTED OTHERWISE
3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND EXPLANATION OF THE WORK NOTES REFER TO SHEET NO. 000
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. 000
5. FOR ROOM FINISH SCHEDULE SEE TO 700 SERIES DRAWINGS
6. FOR ROOM SCHEDULE SEE A 700 SERIES DRAWINGS. FOR FINISH SCHEDULE PREPARATION SEE TECHNICAL SPECIFICATION SECTION 07070
7. FOR PARTITION TYPES SEE 300 TO 700 SERIES DRAWINGS
8. ALL PARTITIONS SHALL BE TYPE NO. 1
9. REFER TO SELECTED CLING FILM SEE A 400 SERIES DRAWINGS. IF ROP IS NOT PROVIDED SEE 300 SERIES DRAWINGS FOR INFORMATION ON LOCATION OF ALL CEILING VENTILATION DEVICES
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB AND COR WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNLESS NOTED OTHERWISE
11. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL DIMENSIONS AND OVERSIGHTS
12. REFER TO MEPP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION RISK AND EQUIPMENT DESIGNATIONS
13. FOR PROJECT WORK POINT REFER TO AREA 000
14. GUARD RAILS COMPLIANT WITH SECTION BC 1012 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT ALL STAIRS, ELEVATOR LANDING AND LOBBY LOCATIONS
15. REFER TO MEPP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION RISK AND EQUIPMENT DESIGNATIONS
16. FOR PROJECT WORK POINT REFER TO AREA 000
17. HAND RAILS COMPLIANT WITH SECTION BC 1091.1 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT ALL PARTS AND RAMP HANDRAILS
18. PARTITIONS THAT EXCEED LIMITING HEIGHTS TO BE PROVIDED WITH INTERMEDIATE HORIZONTAL AND VERTICAL DIVISIONS AT 4' ONCE
19. PARTITIONS SURROUNDING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION BC 1091.1 OF THE NEW YORK CITY BUILDING CODE
20. PROVIDE 6" WIDE BY 1/4" TALL CURBS, UNLESS FOR MASONRY WALLS. PROVIDE 1/4" TALL CURBS WITH 500 TYPED MATCHING WALL ASSEMBLY. REFER TO SDDH
21. CURBS AT MEPP PENETRATIONS TO BE COORDINATED WITH MEPP CONTRACTOR
22. COORDINATE ALL HOUSEKEEPING PADS WITH MEPP CONTRACTOR
23. REFER TO STRUCTURAL SERIES DRAWINGS FOR PARTIAL DETAILS AND HOUSEKEEPING PAD DETAILS. REINFORCEMENT, AND MATERIAL TYPES
24. PROVIDE PHOTO LUMINESCENT PATH MARKINGS AT ALL STAIRS AND ELEVATOR LANDING AREAS AS NOTED IN 10.1 OF THE NEW YORK CITY BUILDING CODE
25. PROVIDE FIRE RESISTANT RATING REQUIREMENTS FOR ALL PARTITIONS AND ENCLOSURES TO STRUCTURE SERIES DRAWINGS AND SHEET NO. 000
26. ALL OPENINGS, PENETRATIONS, UNITS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE ZONE SHALL BE PROVIDED WITH SMOKE PARTITIONS, ENCLOSURES, AND SHUTS MUST COMPLY WITH SECTION BC 1091.1 OF THE NEW YORK CITY BUILDING CODE
27. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHTING, RECEPTIONS, LOCATIONS, AND DIMENSIONS

1. SEE SHEETS A-059 THRU A-065 FOR EXPANSION JOINT LOCATIONS AND REQUIREMENTS
2. FOR WIND PRESSURE DIAGRAM, REFER TO APPENDIX A OF THE SPECIFICATION



ENLARGED

## ENLARGED RETAIL CORE PLANS

**Damian Titus**  
  
Buildings  
**APPROVED**  
Under Directive 2 of 1975  
**AMENDED APPLICATION**  
Date: 12/18/2017  
**NYC Development Hub**

Date: 23 AUG 2017

A-372.01

|                        |                     |
|------------------------|---------------------|
| Scale:<br>As indicated | Sheet No.:<br>A-372 |
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|                    |                 |
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| File No.:<br>A-372 | Page No.: 76 OF |
|--------------------|-----------------|



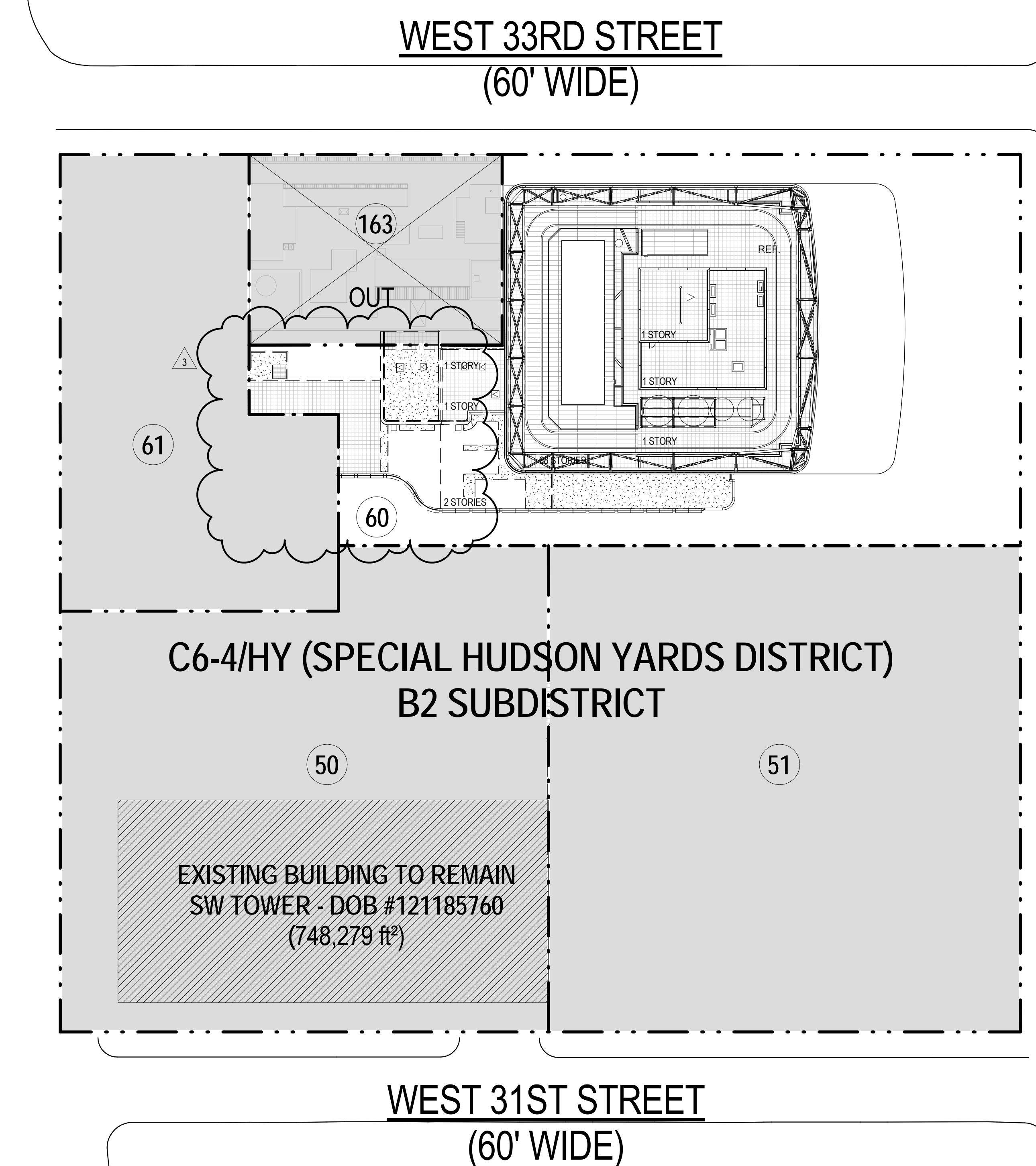




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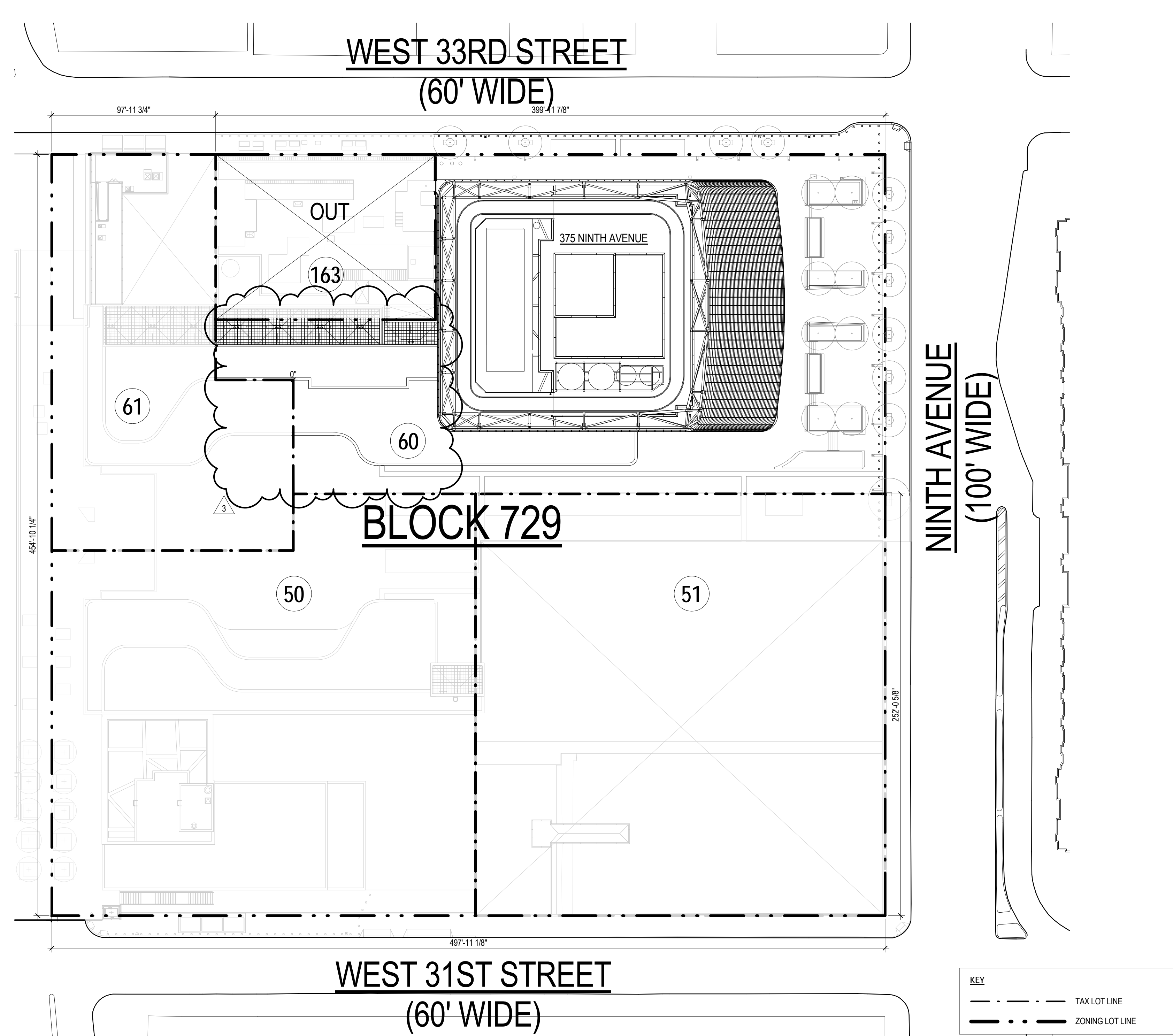
6 ZONING DISTRICT MAP

SCALE: 1" = 40'-0"



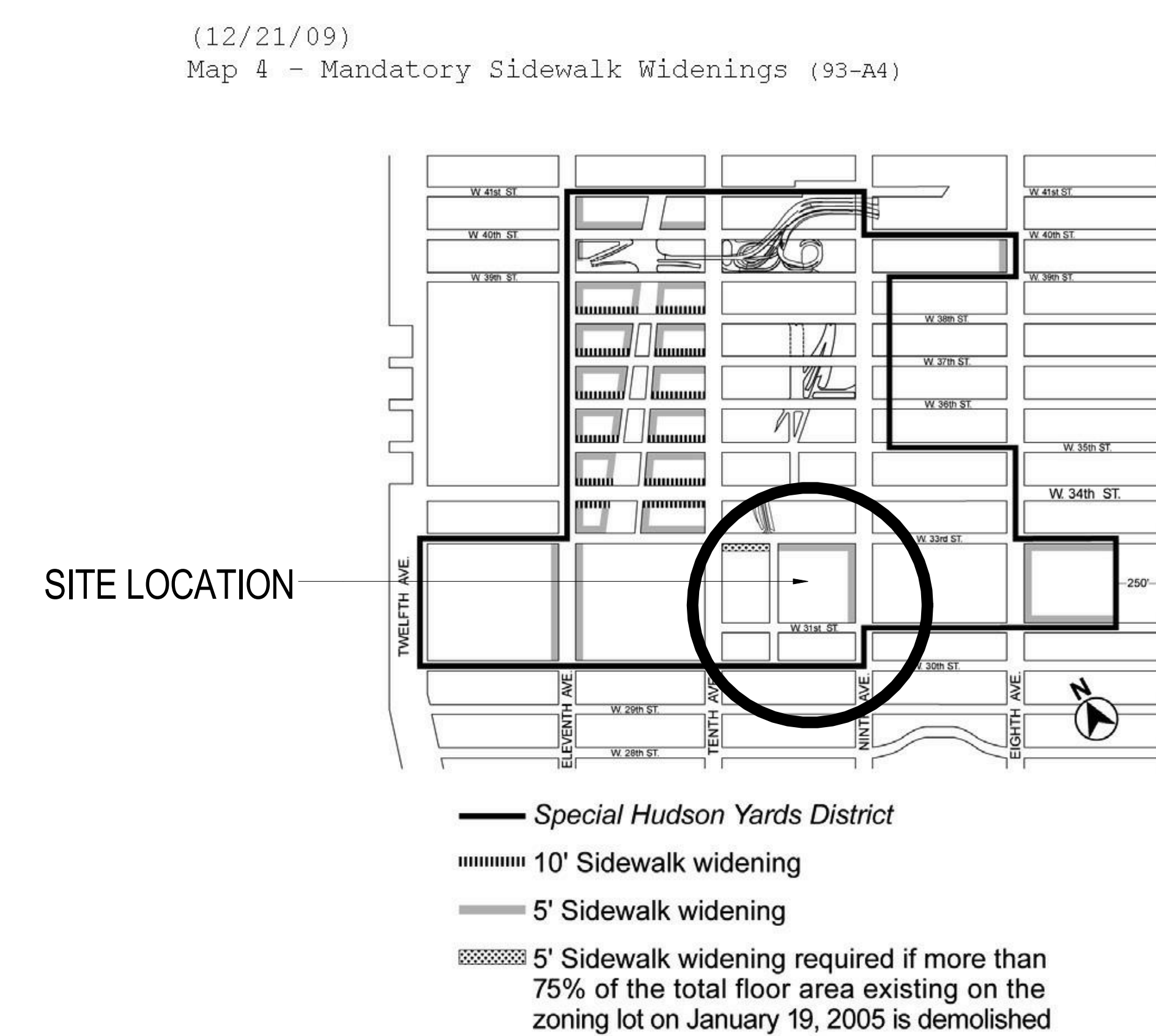
7 ZONING LOT MAP

SCALE: 1" = 40'-0"



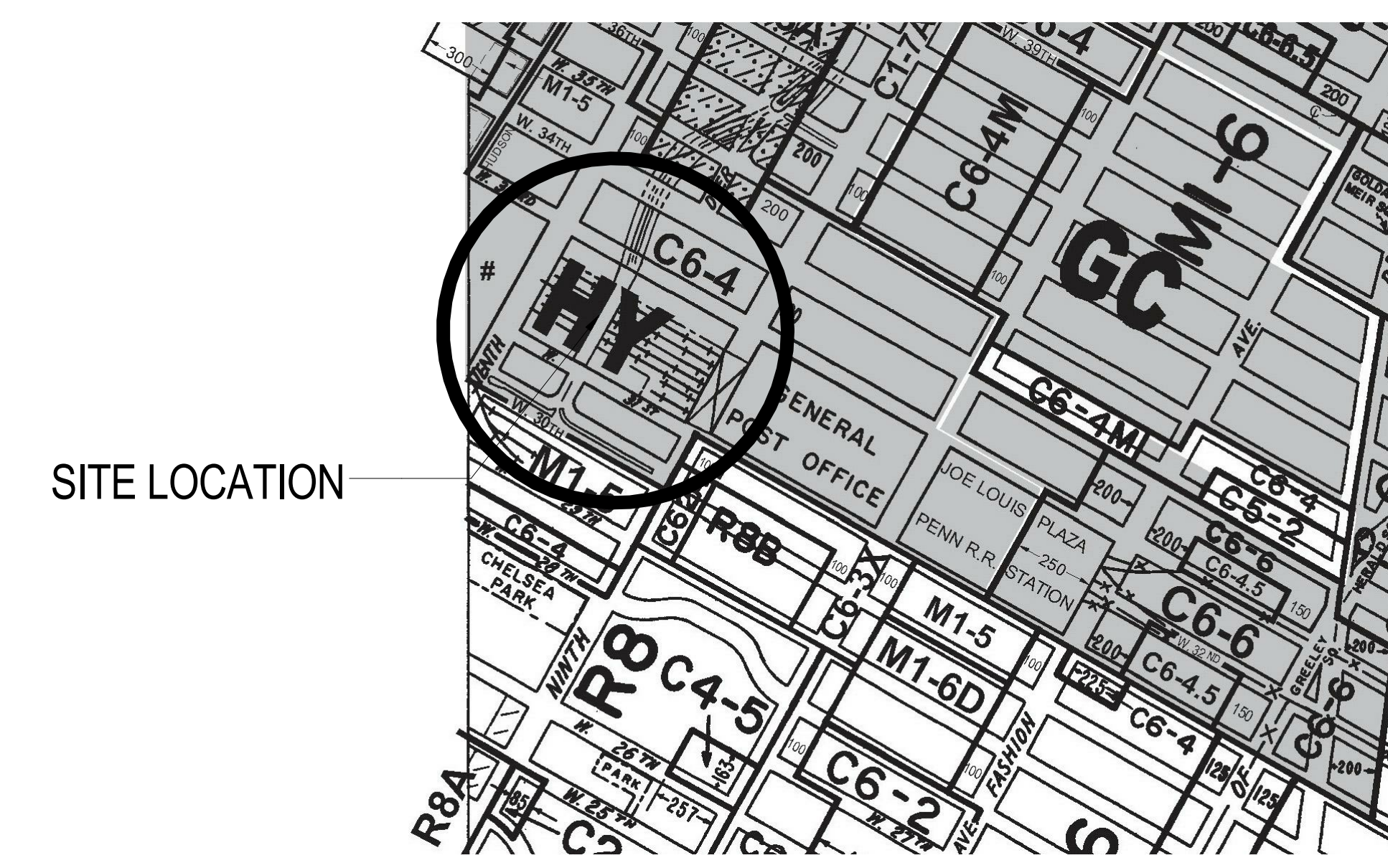
5 ZONING MAP - MANDATORY SIDEWALK WIDENING

SCALE: NTS



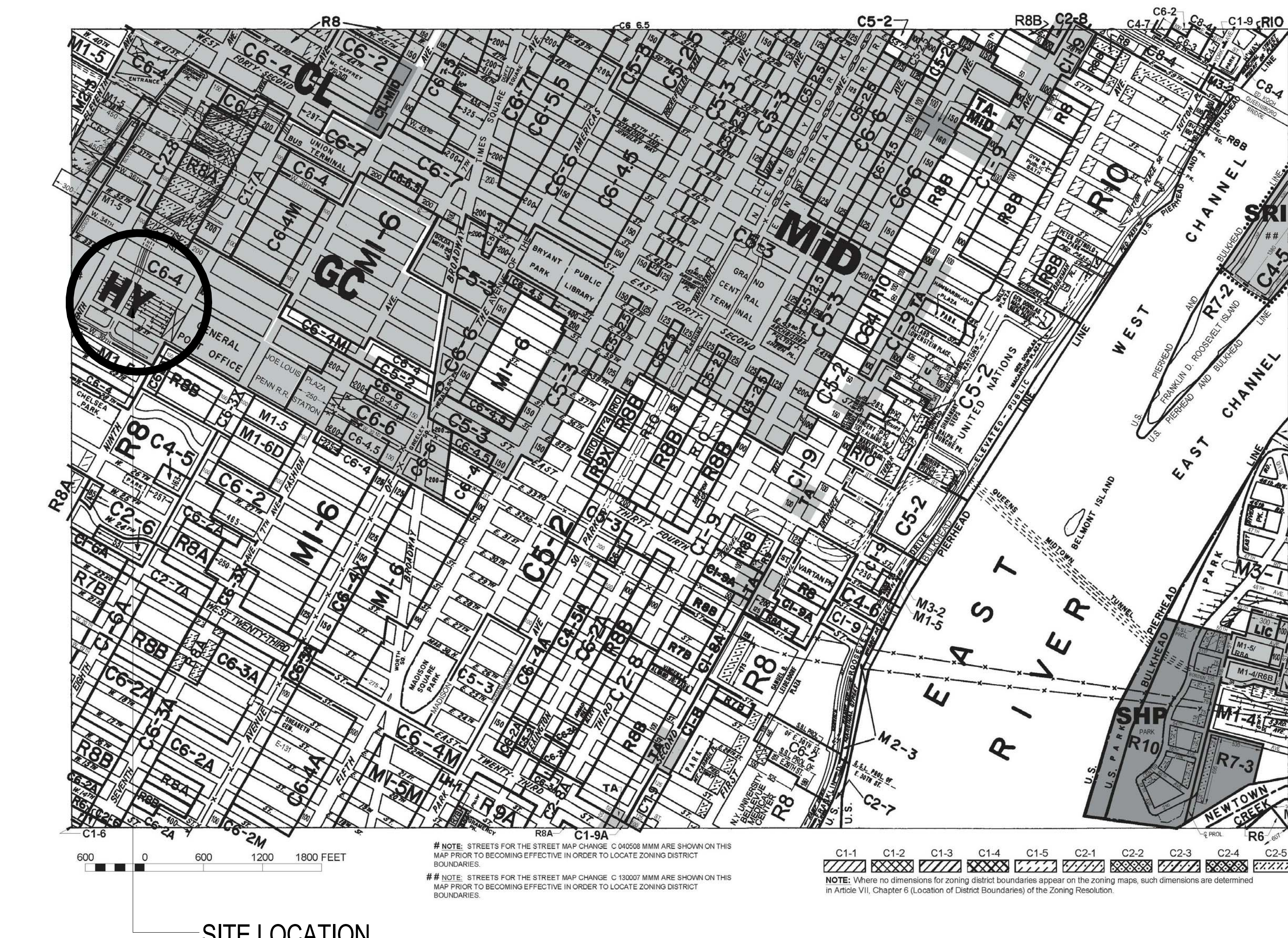
4 ZONING MAP - ENLARGED

SCALE: NTS



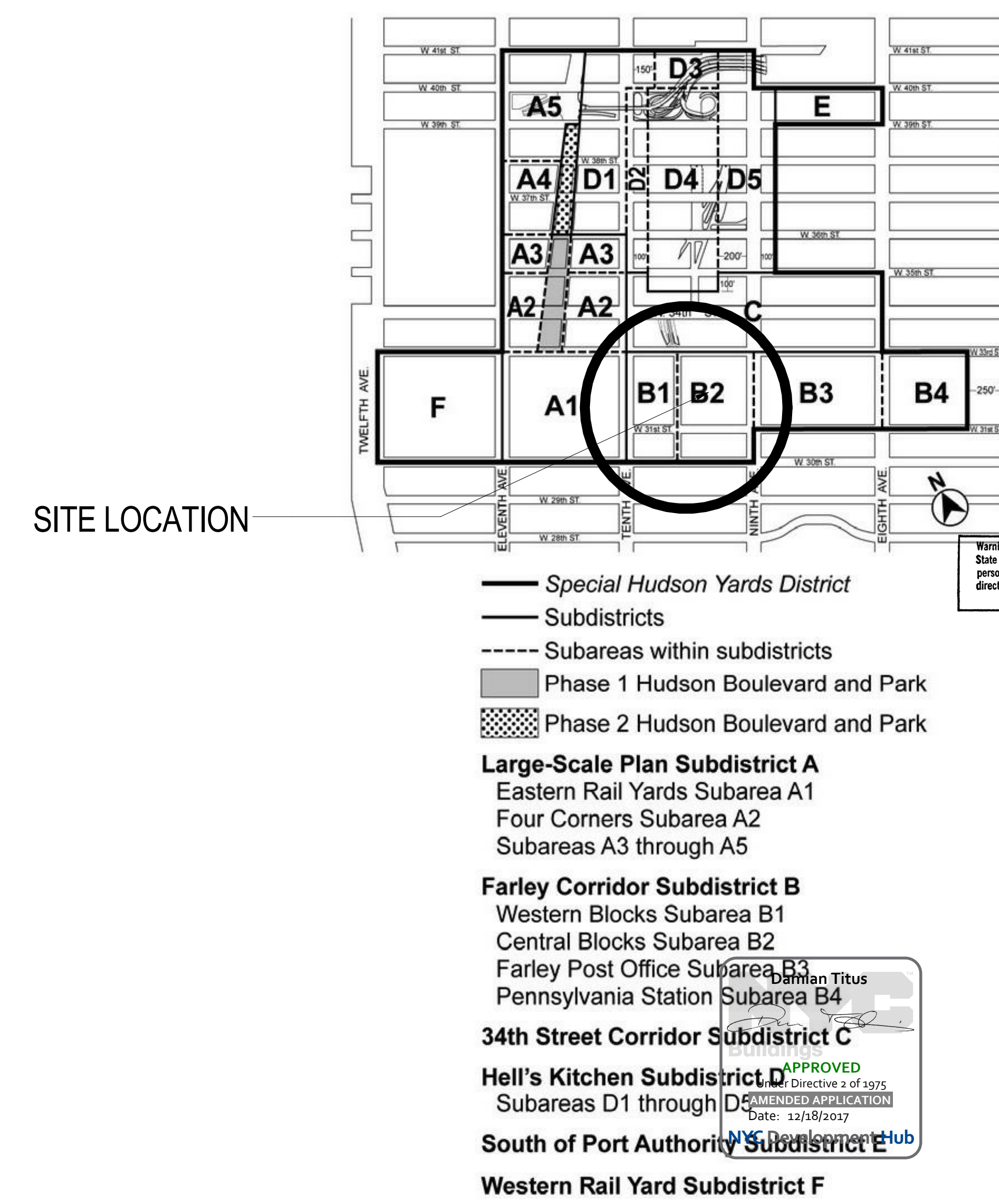
3 ZONING MAP - SPECIAL HUDSON YARDS DISTRICT

SCALE: AS INDICATED



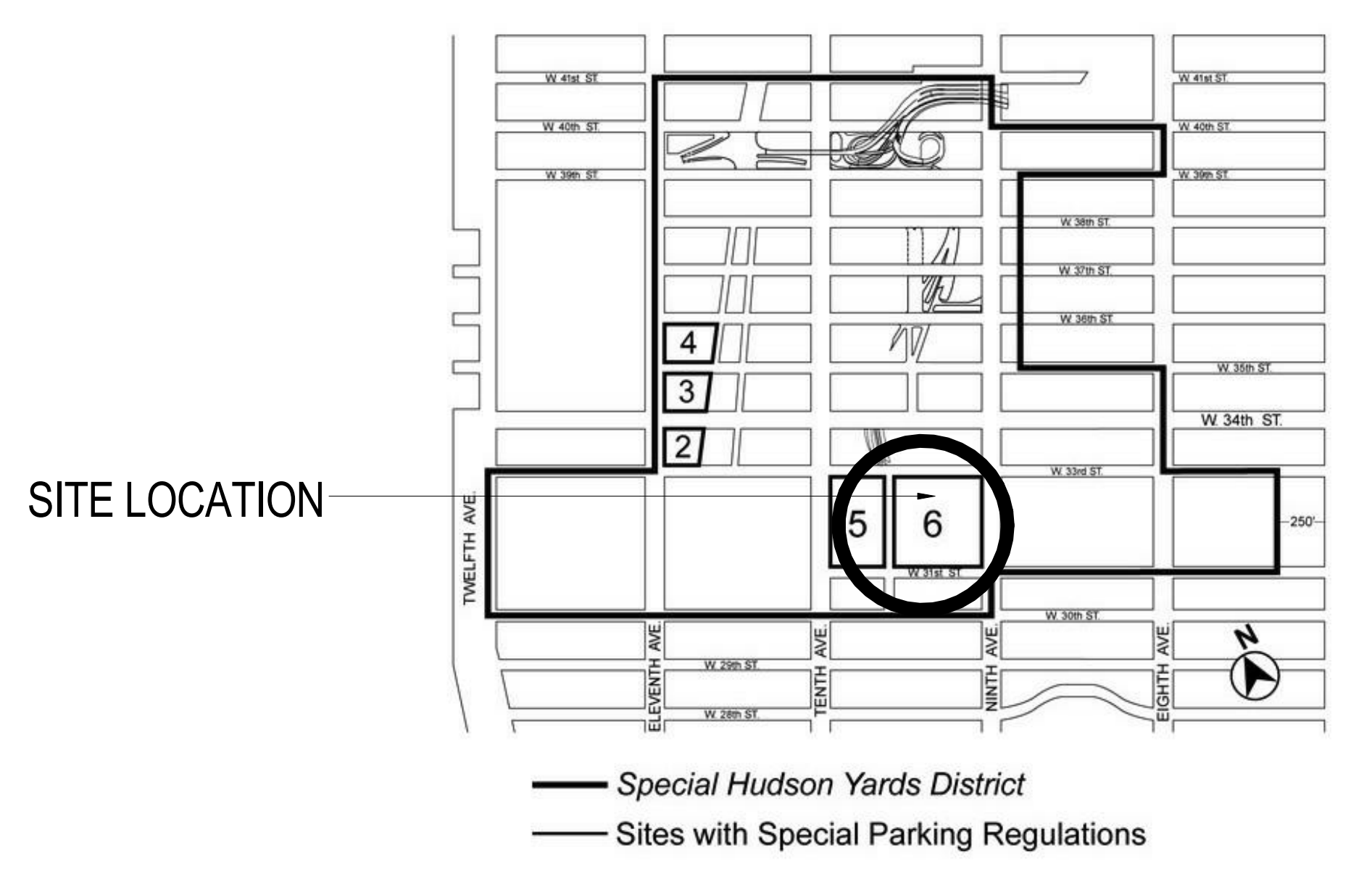
1 ZONING MAP - SUBDISTRICT MAP

SCALE: NTS



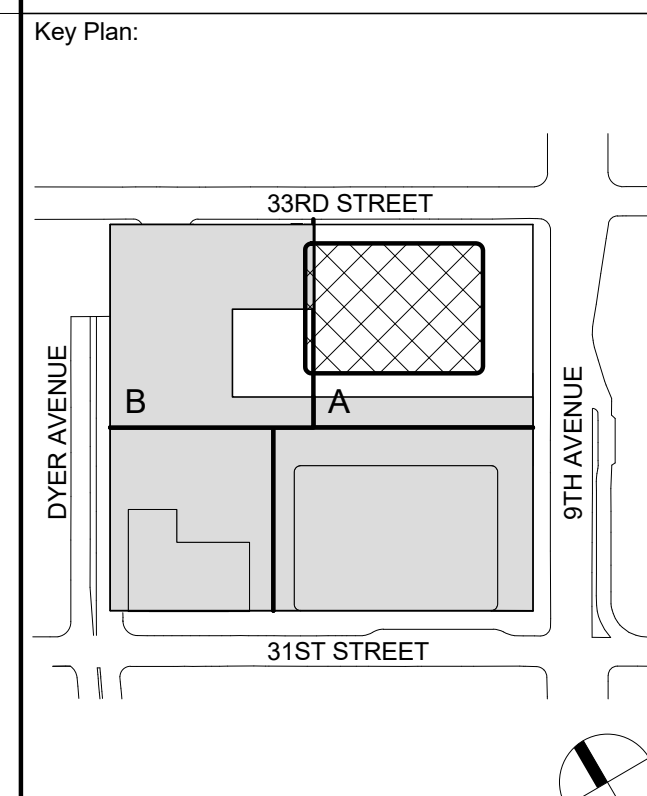
2 ZONING MAP - SPECIAL PARKING REGULATIONS

SCALE: NTS



ZONING MAP & TAX LOT MAP

|             |             |                            |
|-------------|-------------|----------------------------|
| 3           | 23 AUG 2017 | ISSUED FOR DOB APPROVAL    |
| 2           | 22 APR 2016 | ISSUED FOR PAA             |
| 1           | 07 OCT 2015 | ISSUED FOR BUILDING PERMIT |
| No.         | Date        | Description                |
| Sheet Name: |             |                            |



**MANHATTAN WEST: NORTH TOWER**  
401 Ninth Avenue, New York, NY 10001  
Client

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Mueser Rutledge Consulting Engineers  
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475 10th Avenue, New York, NY 10018

Security Consultant  
Ducibella, Ventor & Santoro  
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166 Ames Street, Hackensack, NJ 07601

Wind Tunnel Consultant  
Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8



| SECTION  |   | ITEM   | COMPLIANCE   | SECTION  | ITEM   | COMPLIANCE  | SECTION  | ITEM   | COMPLIANCE                                |
|--|---|--|--|--|--|---|--|--|---|
| 93-00<br>93-01<br>93-02<br>93-03<br>93-04  | GENERAL PURPOSES<br>Definitions<br>General provisions<br>District plan and maps<br>Sub districts and subareas within Farley Corridor subdistrict western blocks subarea B1, central blocks subarea B2   | General Note (G.N.)<br>G.N.<br>G.N.<br>G.N.<br>G.N.  | 93-52<br><br>93-521<br>93-522<br>93-523<br>93-57   | Special height and setback regulations in the Farley Corridor subdistrict B<br>450 West 33rd Street<br>Ninth Avenue rail yard<br>Pennsylvania Station subarea B4<br>Special permit for modification of height and setback regulations  | COMPLIES<br><br><br>COMPLIES<br>G.N.<br>G.N.                                 | Development Site:<br>Lot:<br>Existing Buildings:<br><br>Community board:<br>Little "E" restricted:<br>Zoning Map:<br>Zoning District:<br>Subdistrict:<br>Subarea: | Block 729<br>60<br>Lot 163 to remain<br>Lot 50 to remain<br>#4, Manhattan<br>Hazmat / Noise / Air<br>8d<br>C6-4 / HY (Special Hudson Yards District)<br>Farley Corridor Subdistrict B<br>Central Blocks Subarea B2   |  |   |
| 93-05<br>93-051<br>93-052<br>93-053<br>93-054<br>93-055  | Applicability of district regulations<br>Applicability of Article I, Chapter 1<br>Applicability of Article I, Chapter 3<br>Applicability of Chapter 3 of Article VII<br>Applicability of Article VII, Chapter 4<br>Modification of use and bulk regulations for zoning lots bounding Hudson Boulevard Park  | G.N.<br>G.N.<br>G.N.<br>G.N.<br>G.N.<br>G.N.   | 93-60<br>93-61<br>93-62<br>93-63<br>93-64<br>93-65<br>93-66                              | MANDATORY IMPROVEMENTS<br>Sidewalk widening<br>Street tree planting<br>Pedestrian circulation space<br>Major building entrances<br>Transit facilities<br>Open area requirements in the large scale plan subdistrict A  | COMPLIES<br>COMPLIES<br>G.N.<br>COMPLIES<br>G.N.                             | SECTION   | ITEM   | COMPLIANCE   |   |
| 93-10<br>93-11<br>93-12<br>93-13<br>93-131<br>93-132<br>93-14<br>93-15<br>93-16<br>93-17<br>93-18<br>93-19 | USE REGULATIONS<br>Air space over a rail road or transit right-of-way or yard<br>Special residential use regulations<br>Special office use regulations<br>Certification for office use<br>Authorization for office use<br>Ground floor level requirements<br>Security gates<br>Public parking facilities<br>Modification of sign regulations<br>Non-conforming uses in large-scale plan sub district A<br>Authorization for electrical utility substation | G.N.<br>G.N.<br>G.N.<br>G.N.<br>G.N.<br>G.N.<br>G.N.<br>G.N.<br>G.N.<br>G.N.<br>G.N.<br>G.N. | 93-70<br>93-71<br><br>93-72<br>93-73<br>93-731<br><br>93-732<br><br>93-733<br><br>93-734 | Public access requirements for special sites<br>Public access areas in the eastern rail yard subarea A1<br>Public access areas at 450 West 33rd Street<br>Public access areas on Ninth Avenue rail yards<br>Design and maintenance requirements for public access areas on Ninth Avenue rail yard<br>Certification for public access areas on the Ninth Avenue rail yard<br>Certification to modify general requirements for public access areas for ventilation demands<br>Certification to temporarily modify public access areas for construction staging | G.N.<br>G.N.<br><br>COMPLIES<br>COMPLIES<br><br>G.N.<br><br>G.N.<br><br>G.N. | 32-11   | Lot area: 226,508 GSF<br>Uses permitted:<br>Uses proposed:   | 226,508 GSF<br>Use group 1-12<br>Retail - Use group 6, Use group 10<br>Office - Use group 6B                                   | COMPLIES<br>COMPLIES                      |
| 93-20<br>93-21   | FLOOR AREA REGULATIONS<br>Floor area regulations in the large-scale plan subdistrict A  | G.N.   | 93-80  | OFF STREET PARKING REGULATIONS<br>Definitions  | G.N.   | 93-22   | FLOOR AREA REGULATIONS<br>Maximum permitted FAR  |  |   |
| 93-22<br>93-221  | Floor area regulations in subdistrict B,C,D,E, and F<br>Maximum floor area ratio in the Farley Corridor subdistrict B   | COMPLIES<br>COMPLIES   | 93-81<br>93-82   | Permitted parking<br>Use and location of parking facilities  | G.N.<br>G.N.   | 93-22(a) ROW C  | Total:<br>Commercial:<br>Residential:<br>Community Facility:   | 19.0<br>19.0<br>4.0<br>2.0   |   |
| 93-222   | Maximum floor area ratio in the 34th Street Corridor subdistrict C  | G.N.   | 93-83<br>93-84<br>93-842   | Curb cut restrictions<br>Curb cut restriction in Farley Corridor subdistrict B<br>No curb cut shall be permitted on Ninth Ave. between West 31st and West 33rd street.<br>Max. aggregate width of curb cuts on West 33rd street: 90'   | G.N.<br>G.N.<br>COMPLIES   |   | Maximum permitted floor area<br>Total:<br>Commercial:<br>Residential:<br>Community Facility:   | 19.0 x 226,508 = 4,303,652 ft²<br>19.0 x 226,508 = 4,303,652 ft²<br>4.0 x 226,508 = 906,032 ft²<br>2.0 x 226,508 = 453,016 ft² |   |
| 93-223<br>93-224   | Maximum floor area ratio in Hell's Kitchen subdistrict D<br>Maximum floor area ratio in the south of Port Authority subdistrict E   | G.N.<br>G.N.   |  |  |  |   | Existing building floor area: SW Residential Tower (DOB #121185760)<br>Total:<br>Commercial:<br>Residential:<br>Community Facility:  | 743,290 ft² (3.28 FAR)<br>4,629 ft² (.020 FAR)<br>738,661 ft² (3.26 FAR)<br>0 ft²  |   |
| 93-225<br>93-23<br>93-30<br>93-31<br>93-32   | Floor area regulations in subdistrict F<br>Modification of inclusionary housing program<br>Special floor area regulations<br>District improvement found bonus<br>Floor area regulation in the phase 2 Hudson Boulevard and park   | G.N.<br>G.N.<br>G.N.<br>G.N.<br>G.N.   | 93-90<br>36-62<br>36-71<br>37-725  | HARASSMENT<br>Required accessory off-street loading berths<br>Required bicycle parking spaces<br>Steps   | COMPLIES<br>COMPLIES<br>COMPLIES<br>COMPLIES                                 |   | Proposed floor area (see floor area schedule, 1/2-003.00)<br>Total:<br>Commercial:<br>Residential:<br>Community Facility:  | 1,688,591 ft² (7.45 FAR)<br>1,688,591 ft² (7.45 FAR)<br>0 ft²<br>0 ft²   |   |
| 93-33<br>93-34   | Special regulations for residual portions of zoning lots partially within the phase 2 Hudson Boulevard and park<br>Distribution of floor area in the large-scale plan subdistrict A   | G.N.<br>G.N.   | 37-726<br>37-727<br>37-741<br>37-742   | Permitted obstructions<br>Hours of access<br>Seatings<br>Planting and trees  | COMPLIES<br>COMPLIES<br>COMPLIES<br>COMPLIES                                 |   | Proposed commercial floor area<br>SW Residential Tower: 4,629 ft² (.020 FAR) (DOB #121185760)<br>New Building:<br>Total:<br>Does not exceed maximum ZFA for the site.  | 1,688,591 ft² (7.45 FAR)<br>1,693,220 ft² (7.48 FAR)<br>0 ft²<br>0 ft²   |   |
| 93-35  | Special permit for transit bonus in Pennsylvania Station subarea B4 plan subdistrict A  | G.N.   | 37-751   | Public space signage system  |  | 93-42   | HEIGHT AND SETBACK REGULATIONS<br>Max. base height on a wide street:<br>Max. base height on a narrow street:<br>-Within 100' of its intersection with wide street:<br>-Beyond 100' of its intersection with wide street:<br>-Weighted avg. base height on a narrow street: | 150 ft<br>150 ft<br>150 ft<br>120 ft (Approx.)   | (See 1/Z-002.00 and Z-003.00)             |
| 93-40<br>93-41<br>93-42  | HEIGHT AND SETBACK REGULATIONS<br>Rooftop regulations<br>Height and setback in subdistrict A,B,C,D,E and F  | G.N.<br>COMPLIES   |  |  |  | 93-522  | SPECIAL HEIGHT AND SETBACK REGULATIONS<br>Required setback on a wide street:<br>Required setback on a narrow street:<br>*Exception: A building may rise without setback when no part of building is within 15' of street line.   | 15 ft<br>20 ft   | COMPLIES<br>(See 1/Z-002.00 and Z-003.00) |
| 93-50<br>93-51   | SPECIAL HEIGHT AND SETBACKS REGULATIONS<br>Special height and setback regulations in the large-scale plan subdistrict A   | COMPLIES   |  |  |  | 93-61   | SIDEWALK WIDENING<br>Minimum along West 33rd Street and Ninth Ave.:  | 5 ft   | COMPLIES<br>(See 3/Z-005.00)              |

| SECTION   |   | ITEM                           | COMPLIANCE |
|---|---|--------------------------------|------------|
| 93-62   | STREET TREE PLANTING Requirement<br>1 tree per 25' of zoning lot street frontage<br>31st Street = 498.0'<br>9th Avenue = 455.0'<br>33rd Avenue = (498.0-131.25) = 366.75'<br>Total Frontage = 1,319.75 / 25 trees per Ft = 53 trees required<br><br>Existing Trees: 4<br>Proposed<br>4 trees planted on site (on 33rd Street)*<br>13 trees planted on site ( on 9th Avenue)*<br>17 trees planted on site*<br>*Remainder to be paid to the Dept. of Parks and Recreation   | COMPLIES<br>(See Z-004.00)     |            |
| 93-64   | MAJOR BUILDING ENTRANCES<br>The street wall of any building facing east towards Ninth Avenue south of West 33rd Street shall contain either a major building entrance or have at least 70% of its ground floor frontage occupied by retail use.<br><br>PUBLIC ACCESS AREAS ON THE NINTH AVE. RAIL YARD<br>Entry plaza<br>Location and minimum dimensions<br>Required amenities<br>-A minimum of 8 trees<br>-At least 336 linear feet of seating<br>-Two or more planting beds, occupy an area of at least 800 ft²<br>-Ground floor transparency in accordance with paragraph (c)<br>Section 93-14<br>-One clear pedestrian circulation path, minimum width of 12 ft | COMPLIES                       |            |
| 93-73<br>93-73(a)<br>93-73(a)(1)<br>93-73(a)(2) | DESIGN AND MAINTENANCE REQUIREMENT FOR PUBLIC ACCESS AREAS<br><br>OFF STREET PARKING REGULATIONS<br>*Chairperson certification required   | See 4/Z-005.00                 |            |
| 93-81   | ACCESSORY OFF-STREET LOADING BERTHS<br>Berths required for office use<br>First 100,000 ft²: 0 berths<br>Next 200,000 ft²: 1 berth<br>Each additional 300,000 ft²: 1 berth<br>Total: 6 berths<br>(1,663,039 ft² - 300,000 ft²) / 300,000 ft²<br><br>Berths required for retail use<br>First 25,000 ft²: 0 berths<br>Next 15,000 ft²: 1 berth<br>Next 60,000 ft²: 1 berth<br>Each additional 150,000 ft²: 1 berth<br>Total: 0 berths<br>(25,552 ft² - 100,000 ft²) / 150,000 ft²  | COMPLIES<br>(See 4/Z-007.00)   |            |
| 36-62   | REQUIRED BICYCLE PARKING SPACES<br>Spaces required for office use<br>1 per 7,500 ft² of floor area<br>Total (1,663,039 ft² / 7,500): 222 spaces<br><br>Spaces required for retail use<br>1 per 10,000 ft² of floor area<br>Total (25,552 ft²/ 10,000): 3 spaces   | COMPLIES<br>(See 1-3/Z-007.00) |            |

MANHATTAN WEST: NORTH TOWER

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Client

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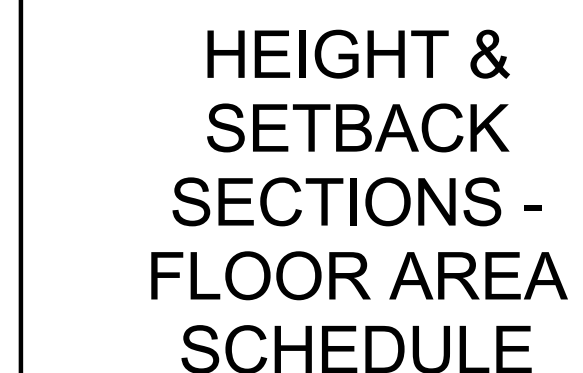



## 2 ZONING RESOLUTION - HEIGHT & SETBACK REGULATIONS

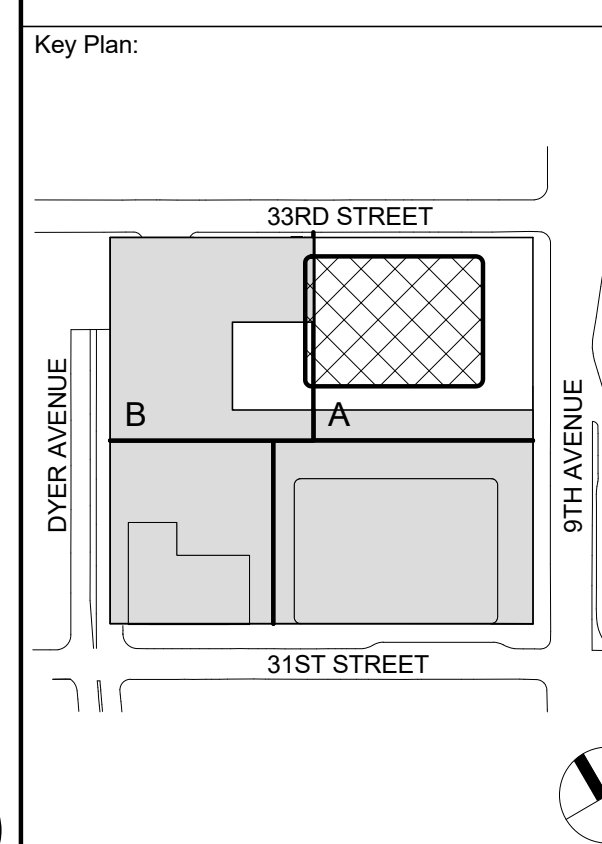
|                |                      |               |            |             |               |
|----------------|----------------------|---------------|------------|-------------|---------------|
| LEVEL 8        | Office               | 30,752 ft²    | -          | 2,212 ft²   | 28,540 ft²    |
| LEVEL 7        | Office               | 30,733 ft²    | -          | 2,179 ft²   | 28,554 ft²    |
| LEVEL 6        | Office               | 30,715 ft²    | -          | 2,228 ft²   | 28,487 ft²    |
| LEVEL 5        | Mechanical           | 28,258 ft²    | -          | 28,258 ft²  | -             |
| LEVEL 4        |                      | 33,203 ft²    | -          | 30,894 ft²  | 2,209 ft²     |
| LEVEL 3        |                      | 11,152 ft²    | -          | 1,704 ft²   | 9,448 ft²     |
| LEVEL 2        |                      | 19,483 ft²    | 12,170 ft² | 1,635 ft²   | 17,848 ft²    |
| LEVEL 1M       |                      | 1,489 ft²     | 1,377 ft²  | 112 ft²     | 1,377 ft²     |
| LEVEL 1        |                      | 41,175 ft²    | 12,005 ft² | 1,613 ft²   | 39,562 ft²    |
| CELLAR B       | Mechanical / Storage | 62,613 ft²    | -          | 62,613 ft²  | -             |
| CELLAR B1      | Mechanical / Storage | 7,841 ft²     | -          | 7,841 ft²   | -             |
| CELLAR B1 PITS | Mechanical / Storage | 2,250 ft²     | -          | 2,250 ft²   | -             |
| Grand Total    |                      | 2,010,835 ft² | 25,552 ft² | 322,242 ft² | 1,688,591 ft² |

FAR: 1,688,591 / 226,508 SF = 7.45

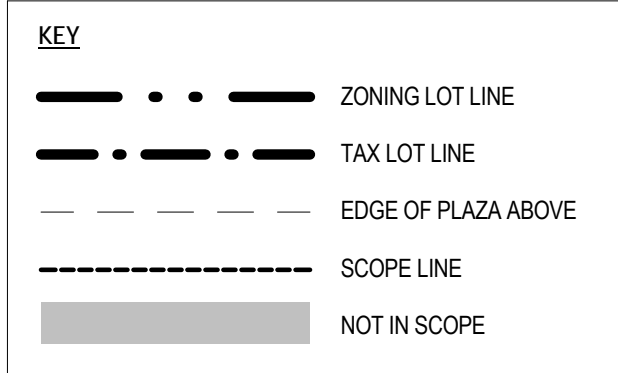
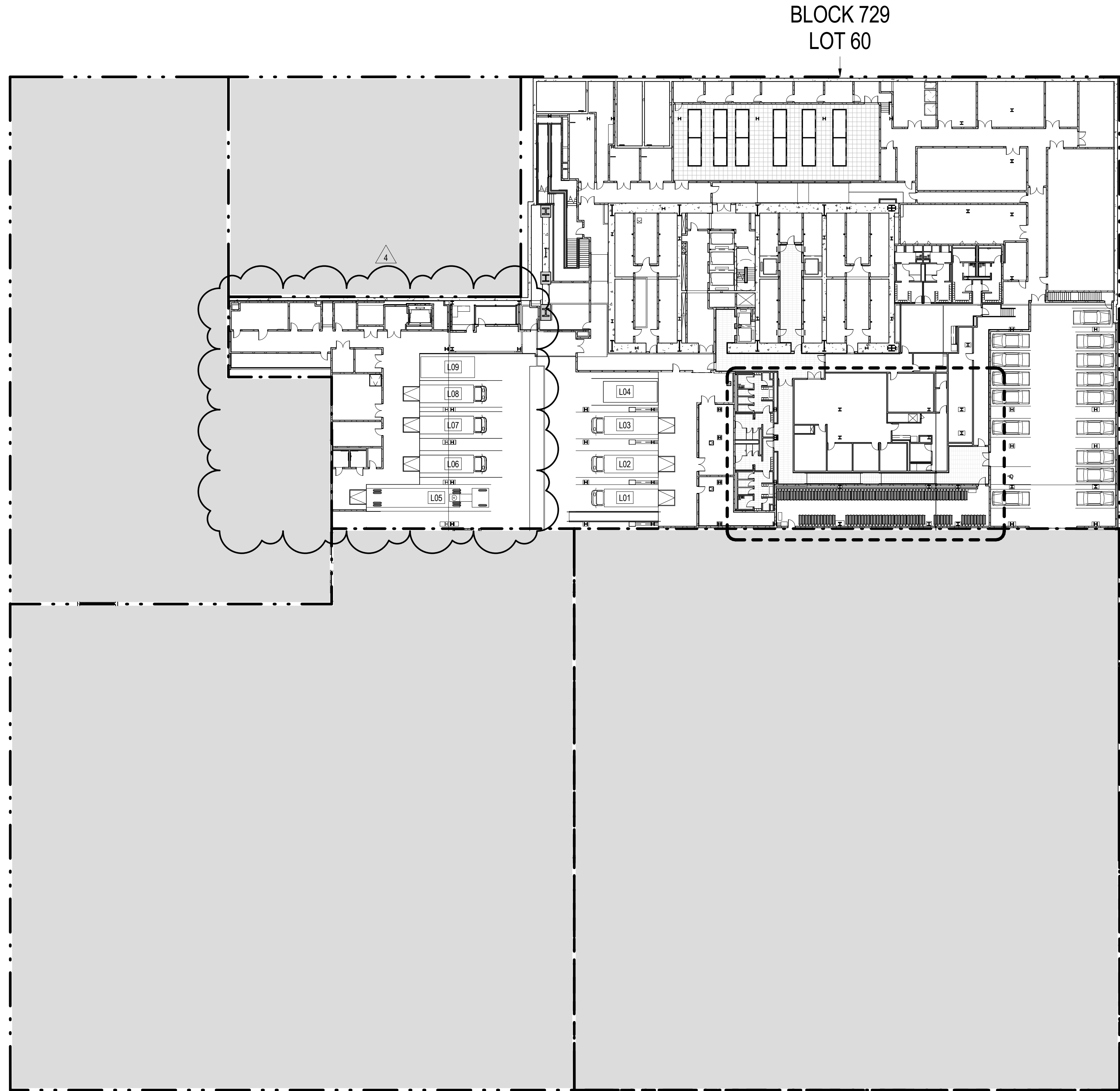
Warning: It is a State Architect project, subject to the provisions of the California Public Access Act (CPAA).



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|---|
| <div>E897669E9C30</div> <div>Scan Code</div>  |
| <div></div> <div><div>MANHATTAN WEST:<br/>NORTH TOWER</div><div>401 Ninth Avenue, New York, NY 10001</div></div>  |
| <div>Client</div> <div>Brookfield</div> <div>Brookfield Plaza<br/>250 Vesey Street, 15th Floor, New York, NY 10281</div>  |
| <div>Architecture/Structural Engineering</div> <div>SOM</div> <div>Skidmore, Owings &amp; Merrill LLP<br/>14 Wall Street, New York, NY 10005</div> <div>Civil Engineering</div> <div>Philip Habib &amp; Associates<br/>102 Madison Avenue #11, New York, NY 10016</div> <div>MEP Engineering</div> <div>Jaros Baum &amp; Bolles<br/>80 Pine Street, New York, NY 10005</div>  |
| <div>Verticals Transportation</div> <div>Edgett Williams Consulting Group, Inc.<br/>102 East Blithedale Ave., Suite 1, Mill Valley, California 94041</div> <div>Sustainable Design</div> <div>Viridian Energy &amp; Environmental<br/>50 Washington Street, Norwalk, CT 06854</div> <div>Geotechnical Engineering</div> <div>Mueser Rutledge Consulting Engineers<br/>14 Penn Plaza, 225 W. 34th Street,<br/>New York, NY 10119</div> <div>Landscape Consultant</div> <div>Field Operations<br/>475 10th Avenue, New York, NY 10018</div> |
| <div>Security Consultant</div> <div>Ducibella, Vantor &amp; Santore<br/>230 State Street #F1, North Haven, CT 06473</div> <div>Blast Consultant</div> <div>Weidinger Associates, Inc.<br/>40 Wall Street, New York, NY 10005</div> <div>Acoustical Consultant</div> <div>Cerami &amp; Associates<br/>434 Fifth Avenue #B, New York, NY 10018</div>  |
| <div>Vibration Consultant</div> <div>Wilson, Uhrig &amp; Associates, Inc.<br/>65 Broadway, Suite #01, New York, NY 10006</div> <div>Code Consultant</div> <div>Code Consultants Professional Engineers PC<br/>215 West 40th Street, 15th Floor, New York, NY 10018</div> <div>Facade Maintenance Consultant</div> <div>Entek Engineering LLC<br/>166 Ames Street, Hackensack, NJ 07601</div>  |
| <div>Wind Tunnel Consultant</div> <div>Rowan Williams Davies &amp; Irwin Inc.<br/>490 Woodlawn Road West, Guelph,<br/>Ontario, Canada N1K 1B8</div>   |







ACCESSORY OFF-STREET LOADING BERTHS (ZR 36-62)

Berths required for office use

|   |          |
|---|----------|
| First 100,000 ft <sup>2</sup> :           | 0 berths |
| Next 200,000 ft <sup>2</sup> :            | 1 berth  |
| Each additional 300,000 ft <sup>2</sup> : | 1 berth  |
| Total:                                    | 6 berths |

(1,663,039 ft<sup>2</sup> - 300,000 ft<sup>2</sup>) / 300,000 ft<sup>2</sup>

Berths required for retail use

|   |          |
|---|----------|
| First 25,000 ft <sup>2</sup> :            | 0 berths |
| Next 15,000 ft <sup>2</sup> :             | 1 berth  |
| Next 60,000 ft <sup>2</sup> :             | 1 berth  |
| Each additional 150,000 ft <sup>2</sup> : | 1 berth  |
| Total:                                    | 0 berths |

(25,552 ft<sup>2</sup> - 100,000 ft<sup>2</sup>) / 150,000 ft<sup>2</sup>

Provided:

9 accessory off-street loading berths (COMPLIES)

OFF STREET PARKING REGULATIONS (ZR 93-81)

Provided: 13 parking spaces\*

\*Chairperson certification required

EXISTING SW RESIDENTIAL TOWER LOADING BERTHS

Berths required: None

### 3 ZONING RESOLUTION - LOADING BERTH REQUIREMENTS

#### REQUIRED BICYCLE PARKING SPACES (ZR 36-71)

Spaces required for office use

|   |            |
|---|------------|
| 1 per 7,500 ft <sup>2</sup> of floor area                   |            |
| Total (1,663,039 ft <sup>2</sup> / 7,500 ft <sup>2</sup> ): | 222 spaces |

Spaces required for retail use

|   |          |
|---|----------|
| 1 per 10,000 ft <sup>2</sup> of floor area                |          |
| Total (25,552 ft <sup>2</sup> / 10,000 ft <sup>2</sup> ): | 3 spaces |

Provided: 226 bike racks (COMPLIES)

#### REQUIRED BICYCLE STORAGE (ZR 36-73)

15 ft<sup>2</sup> / Bicycle\*  
(225 x 15 ft<sup>2</sup>) / 2 = 1,688 ft<sup>2</sup> (for stacked bicycle racks)  
\*The area for each bicycle space may be reduced by up to 9 ft<sup>2</sup> / Bicycle if the Commissioner of Buildings certifies that a layout has been submitted to adequately accommodate the specified number of bicycles.

15 ft<sup>2</sup> - 9 ft<sup>2</sup> = 6 ft<sup>2</sup>

|           |   |
|-----------|---|
| Required: | 225 x 6 ft <sup>2</sup> = 1,350 ft <sup>2</sup> |
|-----------|---|

Provided: 1,607 ft<sup>2</sup> (COMPLIES)

#### EXISTING SW RESIDENTIAL TOWER ENCLOSED BICYCLE PARKING REQUIREMENTS (ZR 25-811, ZR 36-711)

REQUIRED BICYCLE PARKING SPACES

Residential uses = 1 per 2 dwelling units

Proposed no. dwelling units = 844 D.U.  
Required bicycle parking spaces: 844 / 2 = 422 Bicycle required

#### EXISTING BICYCLE STORAGE PROVIDED:

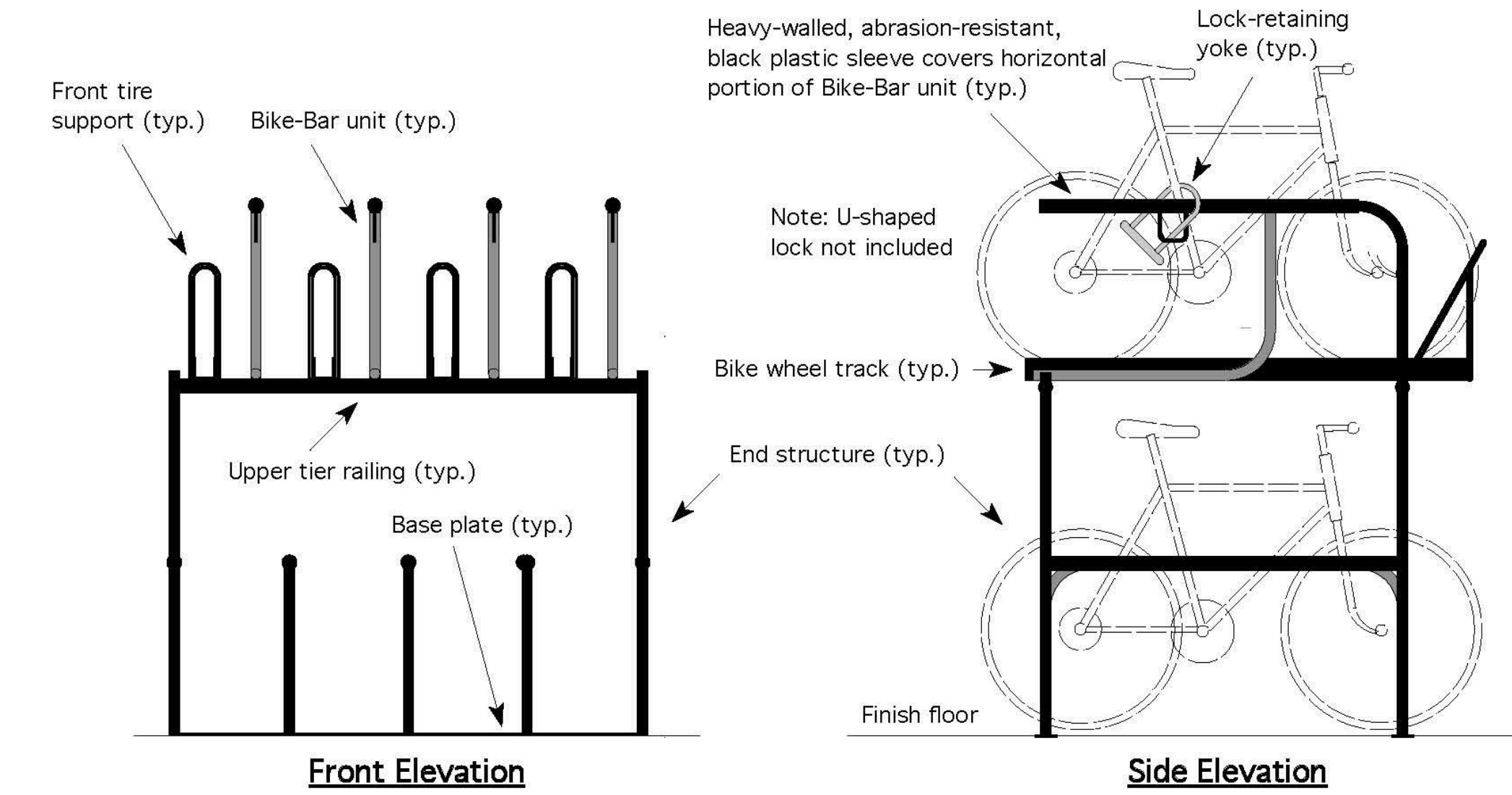
|                          |   |
|--------------------------|---|
| Bike Room #1 (Cellar)    | 1,144 ft <sup>2</sup> / 6.25 ft <sup>2</sup> / Bicycle = 183 Bicycles |
| Bike Room #2 (1st Floor) | 856 ft <sup>2</sup> / 7.5 ft <sup>2</sup> / Bicycle = 114 Bicycles    |
| Total                    | 297 Bicycles  |

#### BICYCLE STORAGE TO BE PROVIDED AT 15 ft<sup>2</sup> / Bicycle:

|              |  |
|--------------|--|
| Bike Zone #1 | 300 ft <sup>2</sup> / 15 ft <sup>2</sup> x 2 / Bicycle = 40 Bicycles |
| Bike Zone #2 | 360 ft <sup>2</sup> / 15 ft <sup>2</sup> x 2 / Bicycle = 48 Bicycles |
| Bike Zone #3 | 240 ft <sup>2</sup> / 15 ft <sup>2</sup> x 2 / Bicycle = 32 Bicycles |
| Bike Zone #4 | 120 ft <sup>2</sup> / 15 ft <sup>2</sup> x 2 / Bicycle = 16 Bicycles |
| Total        | 136 Bicycles - 10 Bicycles for retail at lot 50 = 126 Bicycles       |

TOTAL EXISTING AND FUTURE PROVIDED: 422 Bicycles (COMPLIES)

### 2 ZONING RESOLUTION - BICYCLE PARKING RERQUIREMENTS



#### Specifications

|              |  |
|--------------|--|
| Model#:      | BDDF-8.16 Bike-Double-Decker-Framework™: Two-Tier, Moderate Security Bike Rack   |
| Capacity:    | (8) bikes on 16" centers (4 on the top and 4 on the bottom)  |
| Materials:   | <ul style="list-style-type: none"><li>1" nom., Sched. 40 ASTM A500 welded, seamless-steel pipe for Bike-Bar units and end structures</li><li>1.5" nom., Sched. 40 ASTM A500 welded, seamless-steel pipe for upper-tier railings</li><li>1" nom., heavy-walled, abrasion-resistant, black plastic sleeve covers entire horizontal portion of Bike-Bar units</li><li>3" x 3" x 18 gauge H.R. steel channel for bike wheel tracks</li><li>1/4" x 3" H.R. steel flat-bar for base plates</li><li>1/2" dia. H.R. steel round-bar for lock-retaining yokes and front tire supports</li></ul> |
| Finishes:    | <ul style="list-style-type: none"><li>Hot-dipped galvanizing</li><li>Black, abrasion-resistant thermoplastic powder coating 8 to 10 mils thick</li><li>Standard-colored, abrasion-resistant thermoplastic powder coating 8 to 10 mils thick (extra)</li><li>Hot-dipped galvanized substrate plus thermoplastic powder coating 8 to 10 mils thick (extra)</li><li>Satin-finished #304 stainless-steel construction (extra)</li></ul>  |
| Fabrication: | All metallurgical joints are MIG welds   |

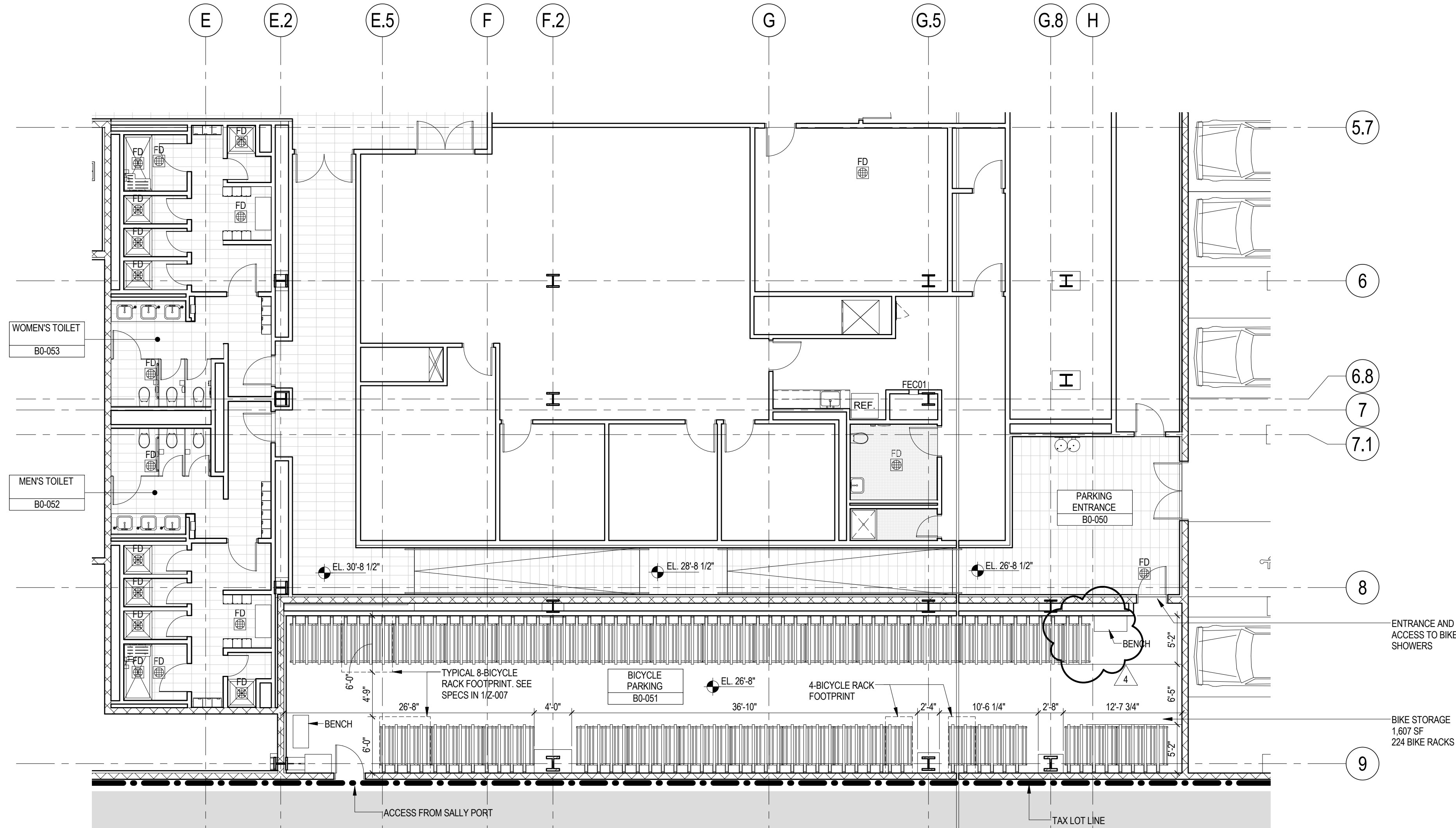
©Feb. 2013 Bike Security Racks Co., Inc. All Rights Reserved

### 1 BICYCLE PARKING SPECIFICATIONS

SCALE: NTS

### 5 ZONING - MASTERPLAN CELLAR B LOADING DOCKS

SCALE: NTS



### 4 ENLARGED BICYCLE STORAGE PLAN

SCALE: 1/8" = 1'-0"

MANHATTAN WEST:  
NORTH TOWER  
401 Ninth Avenue, New York, NY 10001  
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Key Plan:

Seal & Signature:

BICYCLE  
PARKING &  
LOADING BERTHS




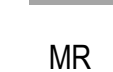
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Date: 27 AUG 2017  
Scale: As indicated  
File No: Z-007

Sheet No.: Z-007.03  
Page No.: 7 OF 7



GENERAL NOTES

ZONING LEGENDS

-  GROSS BUILDING AREA  
 ZONING AREA DEDUCTIONS  
 ZONING FLOOR AREA  
 RETAIL  
MR MECHANICAL ROOM  
M MECHANICAL  
E ELECTRICAL/TEL/IT  
P PLUMBING  
EM ELEVATOR MACHINE ROOM



MANHATTAN WEST:  
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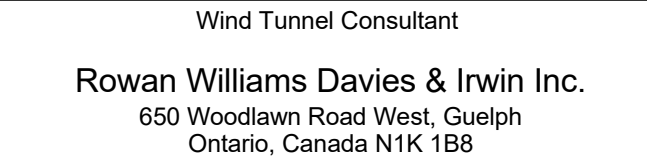
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650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B6

Key Plan:



Seal & Signature:



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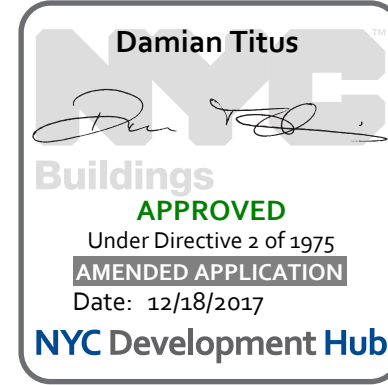
3 23 AUG 2017 ISSUED FOR DOB APPROVAL  
2 22 APR 2016 ISSUED FOR PAA  
1 21 AUG 2015 ISSUED FOR BUILDING PERMIT

No. Date Description  
Sheet Name:

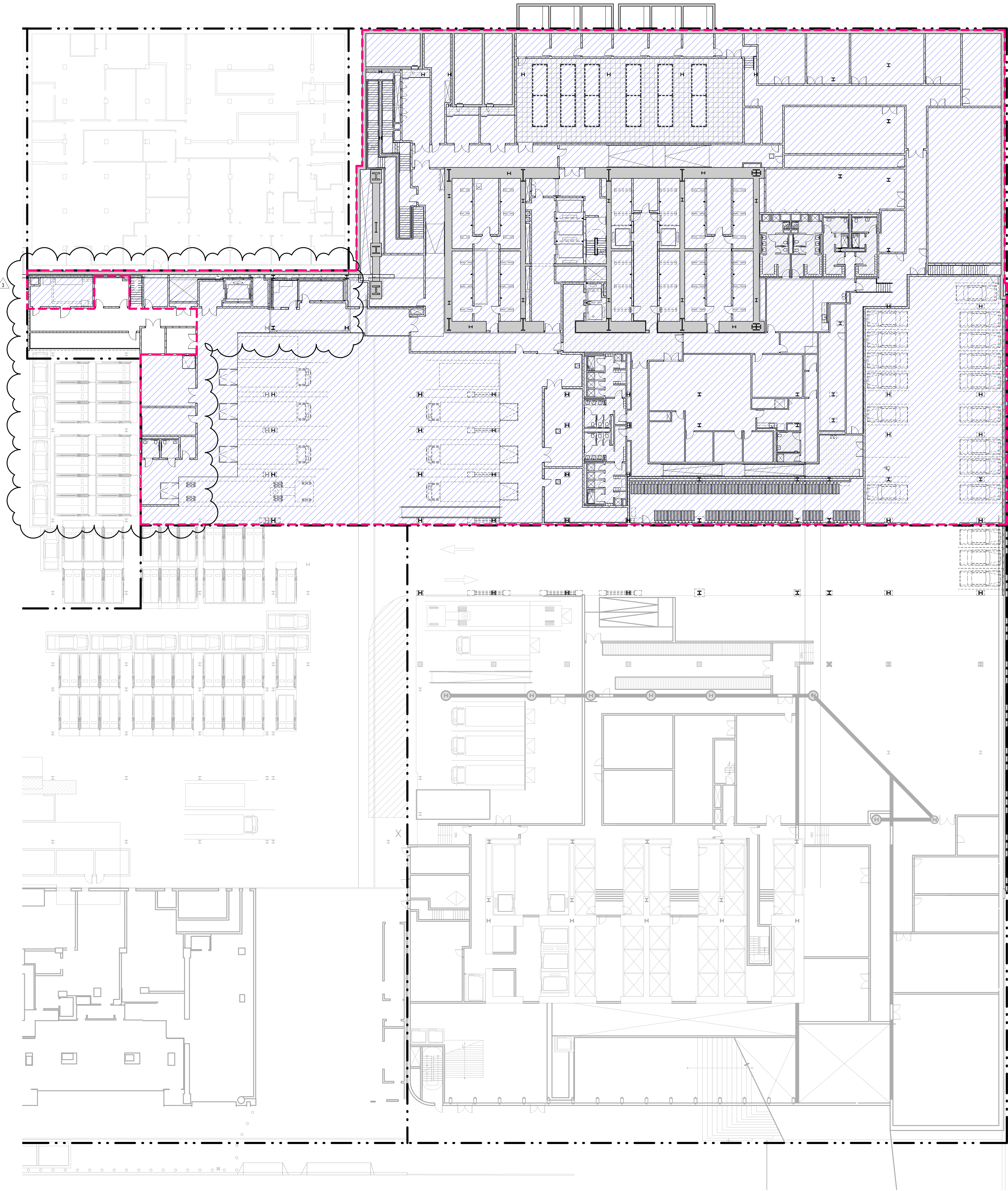
**ZONING FLOOR AREA DEDUCTIONS - CELLAR B**

Project No.: 207150  
Date: 23 AUG 2017  
Scale: 1/16" = 1'-0"  
File No.: Z-103

B-SCAN Sheet No.: Z-103.02  
Sheet No.: Z-103  
Page No.: 10 OF 10



ZONING SCHEDULE - LEVEL B  
ZONING DEDUCTIONS 62,613 R²  
GROSS FLOOR AREA 62,613 R²

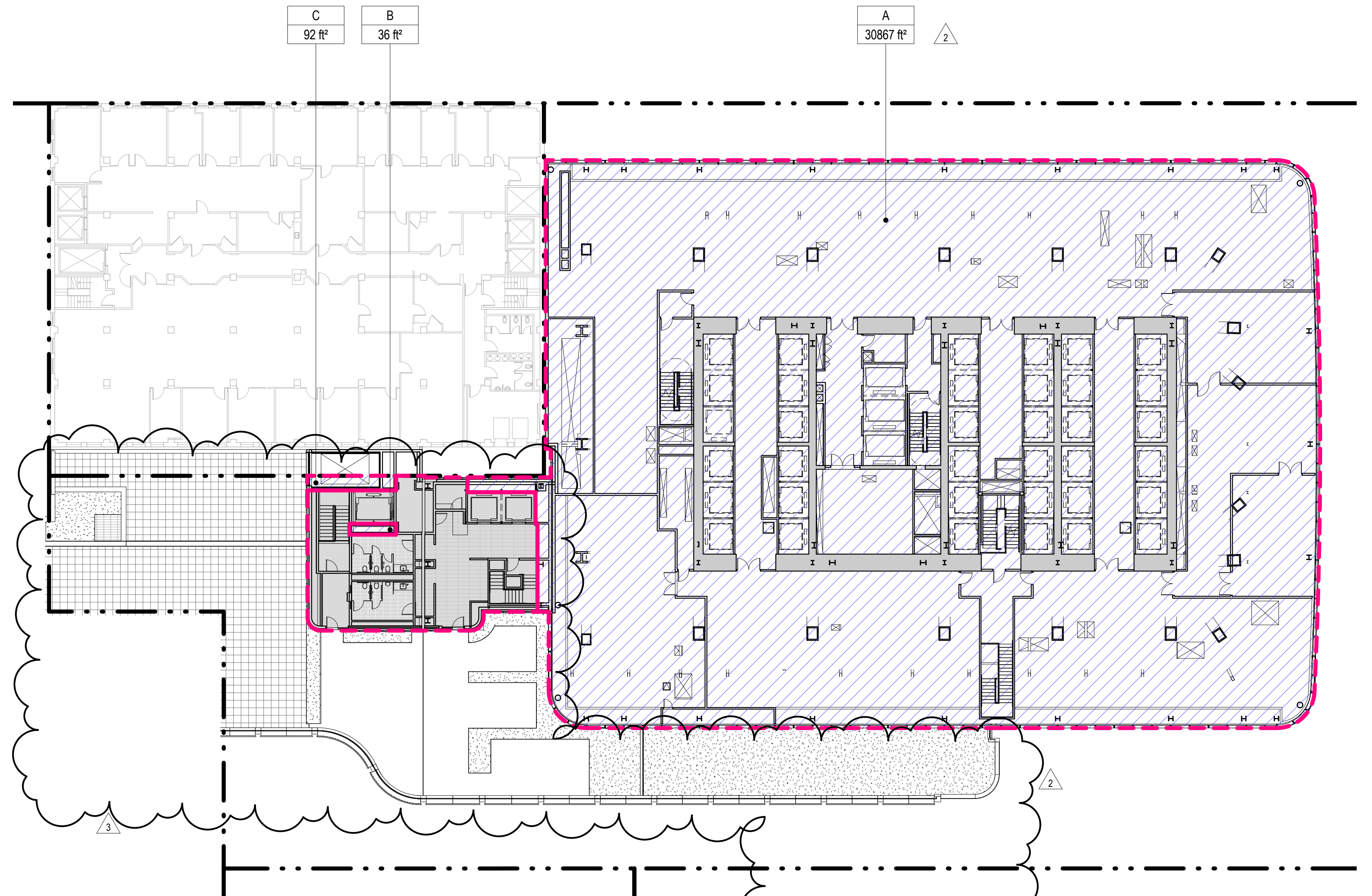




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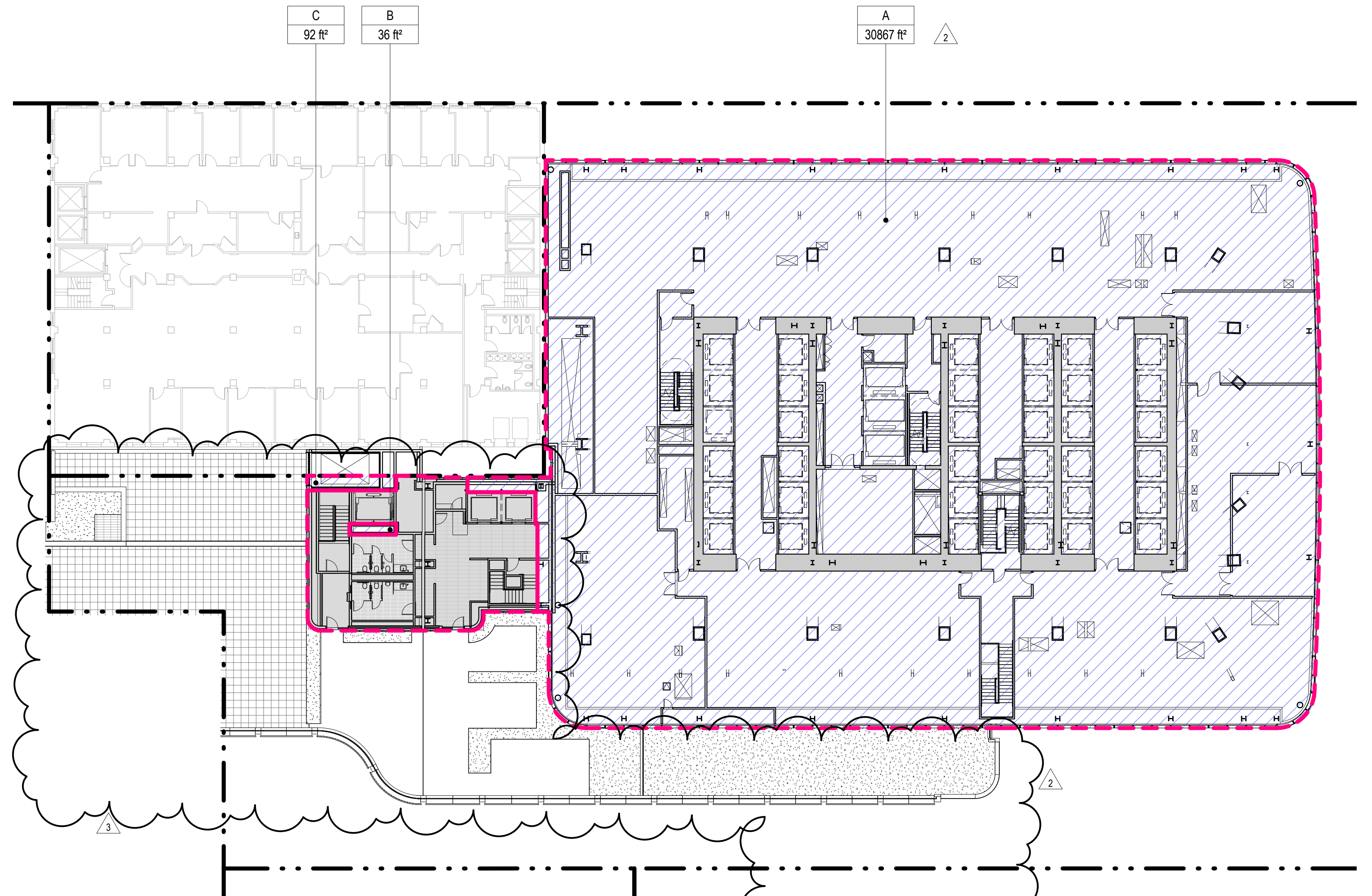
### 3 LEVEL 3 PLAN

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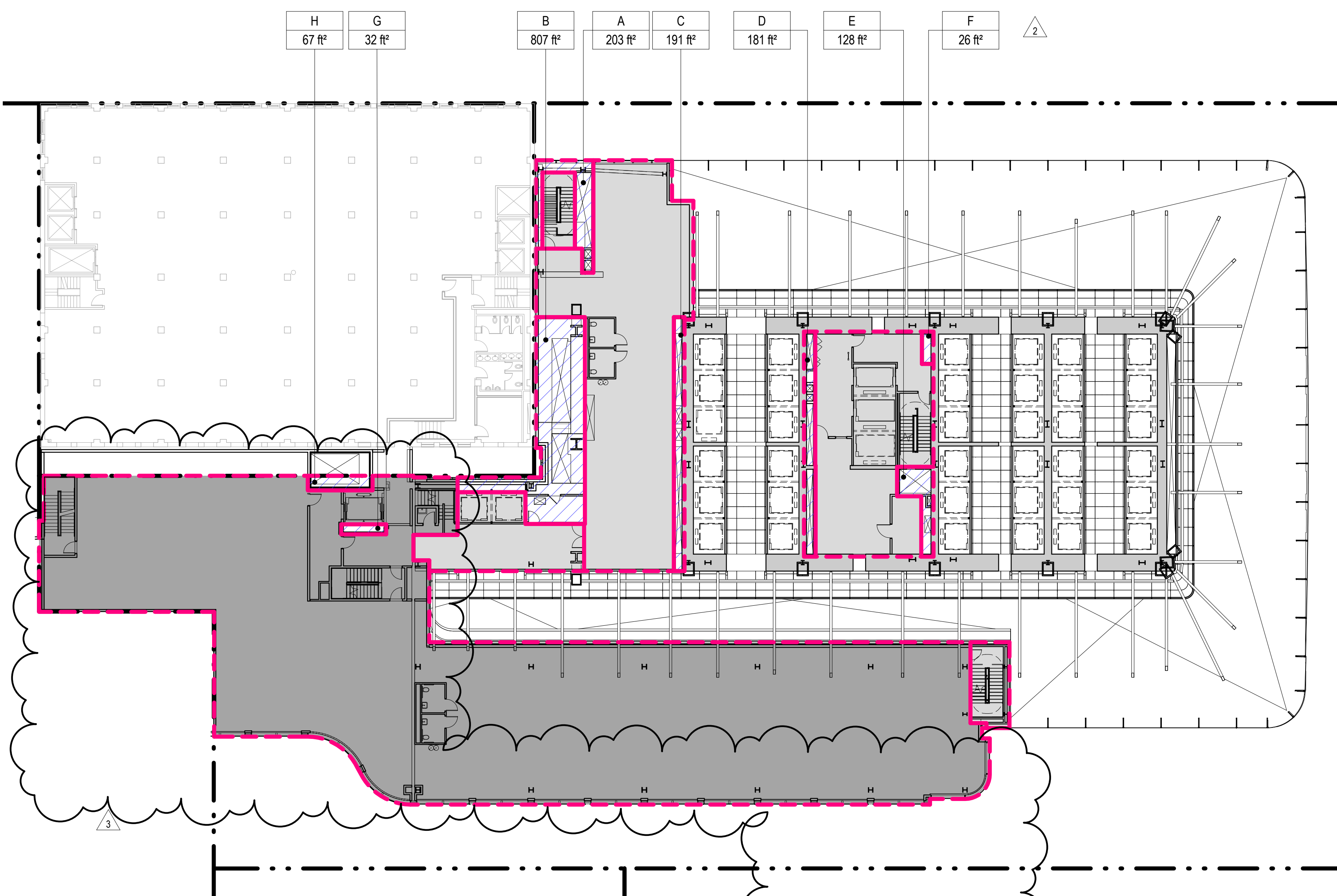
### 4 LEVEL 4 PLAN

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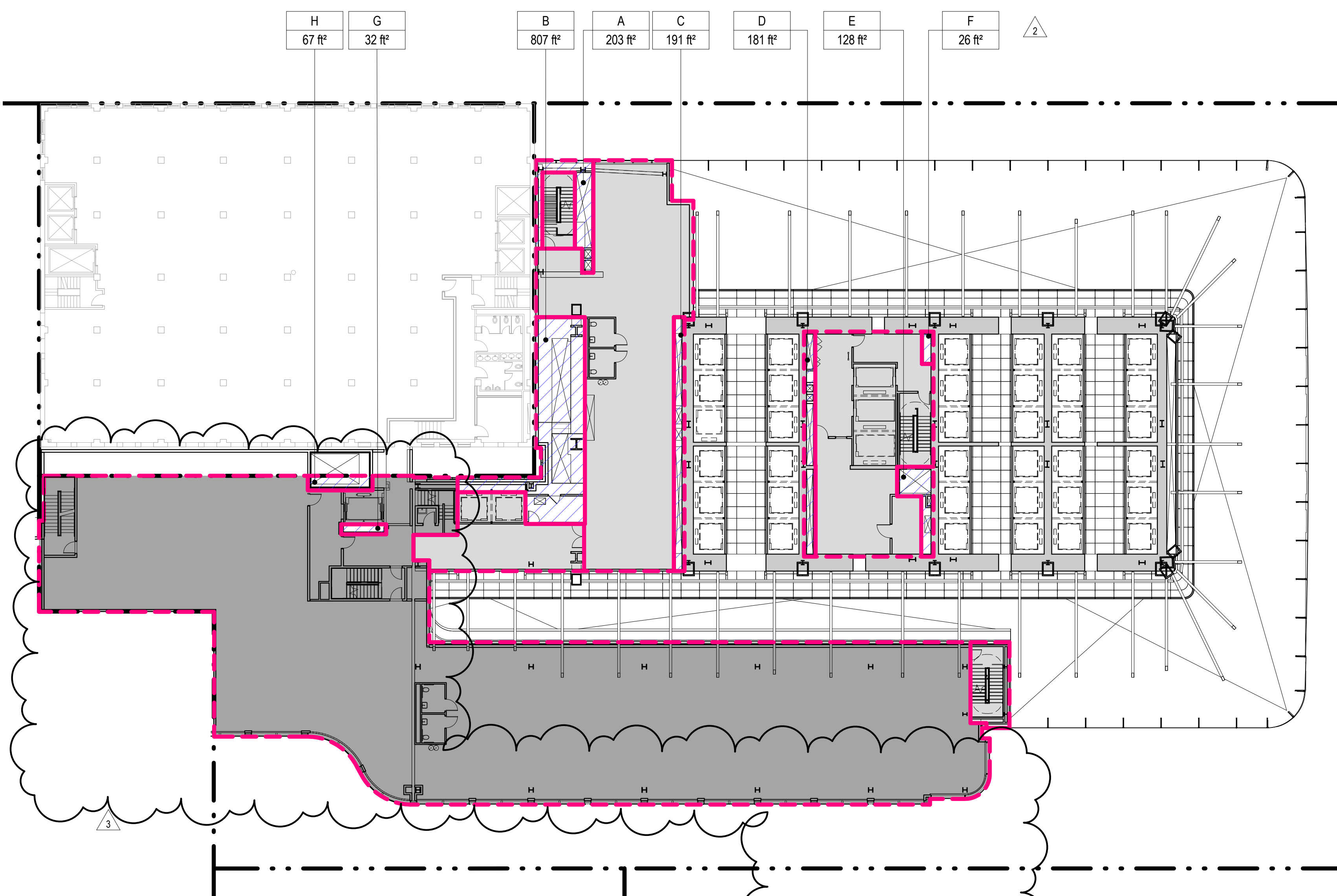
### 1 LEVEL 1 PLAN

SCALE: 1" = 20'-0"



### 2 LEVEL 2 PLAN

SCALE: 1" = 20'-0"



- ZONING LEGENDS**
- GROSS BUILDING AREA
  - ZONING AREA DEDUCTIONS
  - ZONING FLOOR AREA
  - RETAIL
  - MR MECHANICAL ROOM
  - M MECHANICAL
  - E ELECTRICAL/TEL/IT
  - P PLUMBING
  - EM ELEVATOR MACHINE ROOM



**MANHATTAN WEST:  
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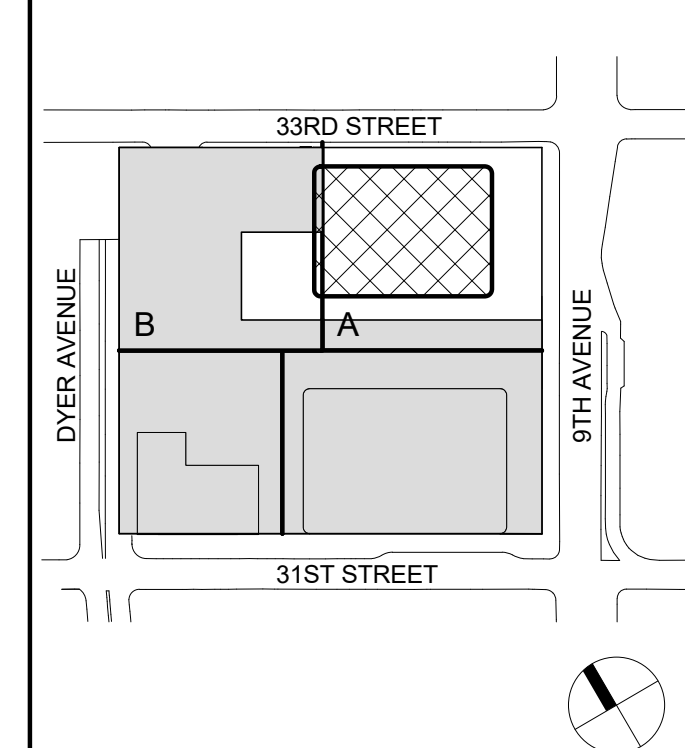
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| Sheet Name |             |                            |

**ZONING FLOOR  
AREA  
DEDUCTIONS -  
LEVEL 1-4**

Project No.: 207150  
Date: 23 AUG 2017  
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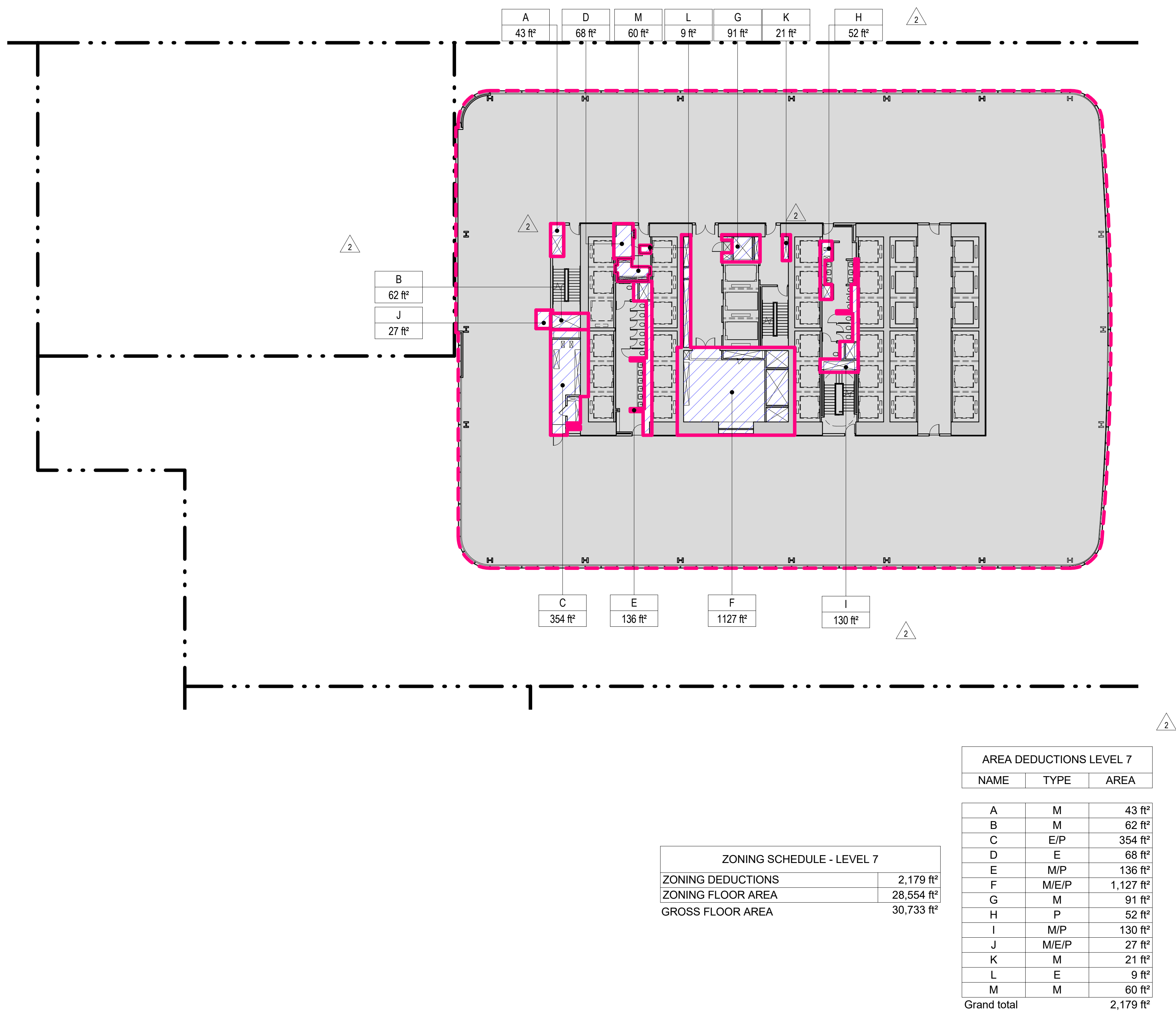
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Page No.: 11 OF 11



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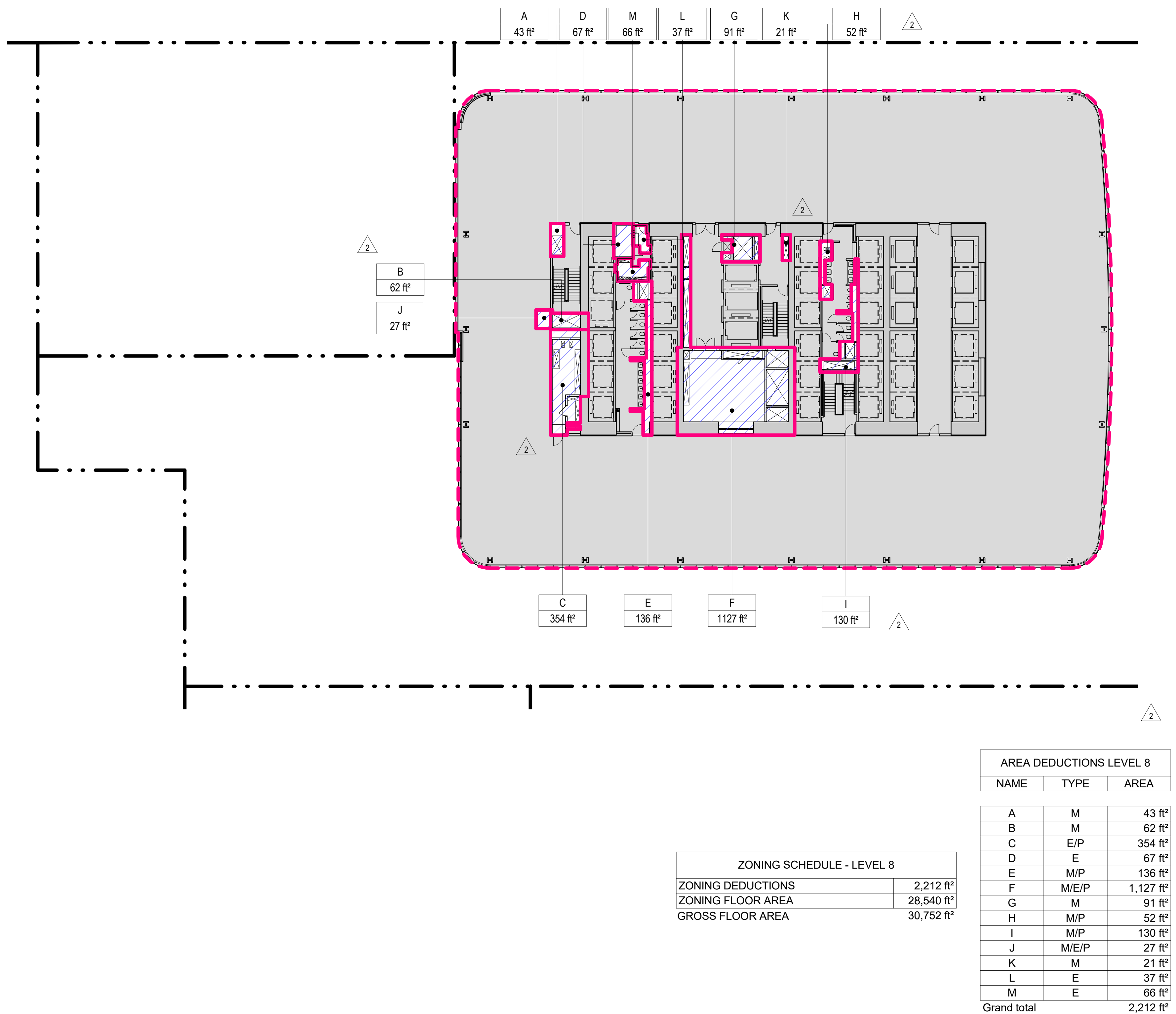
### 3 LEVEL 7 PLAN

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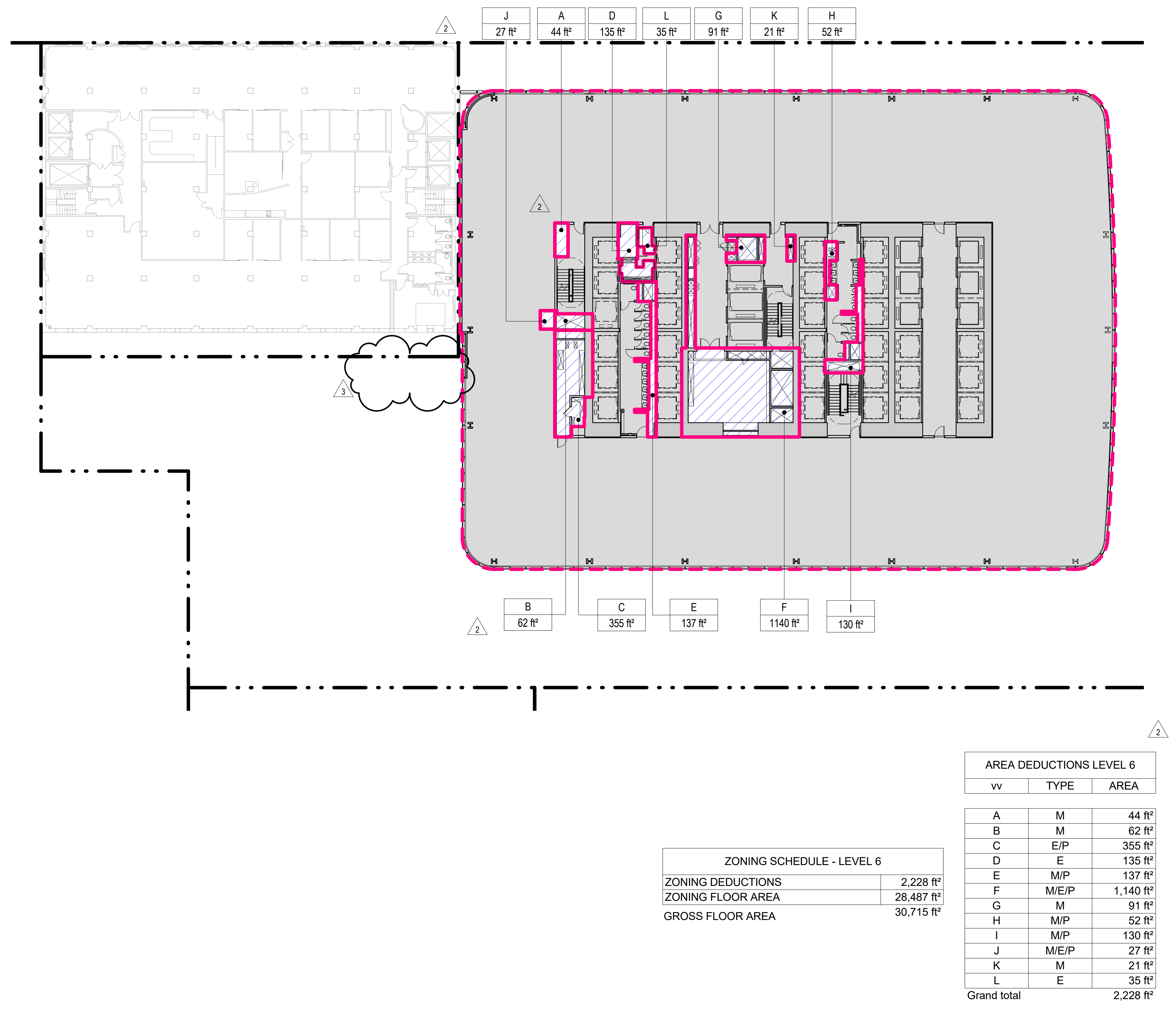
### 4 LEVEL 8 PLAN

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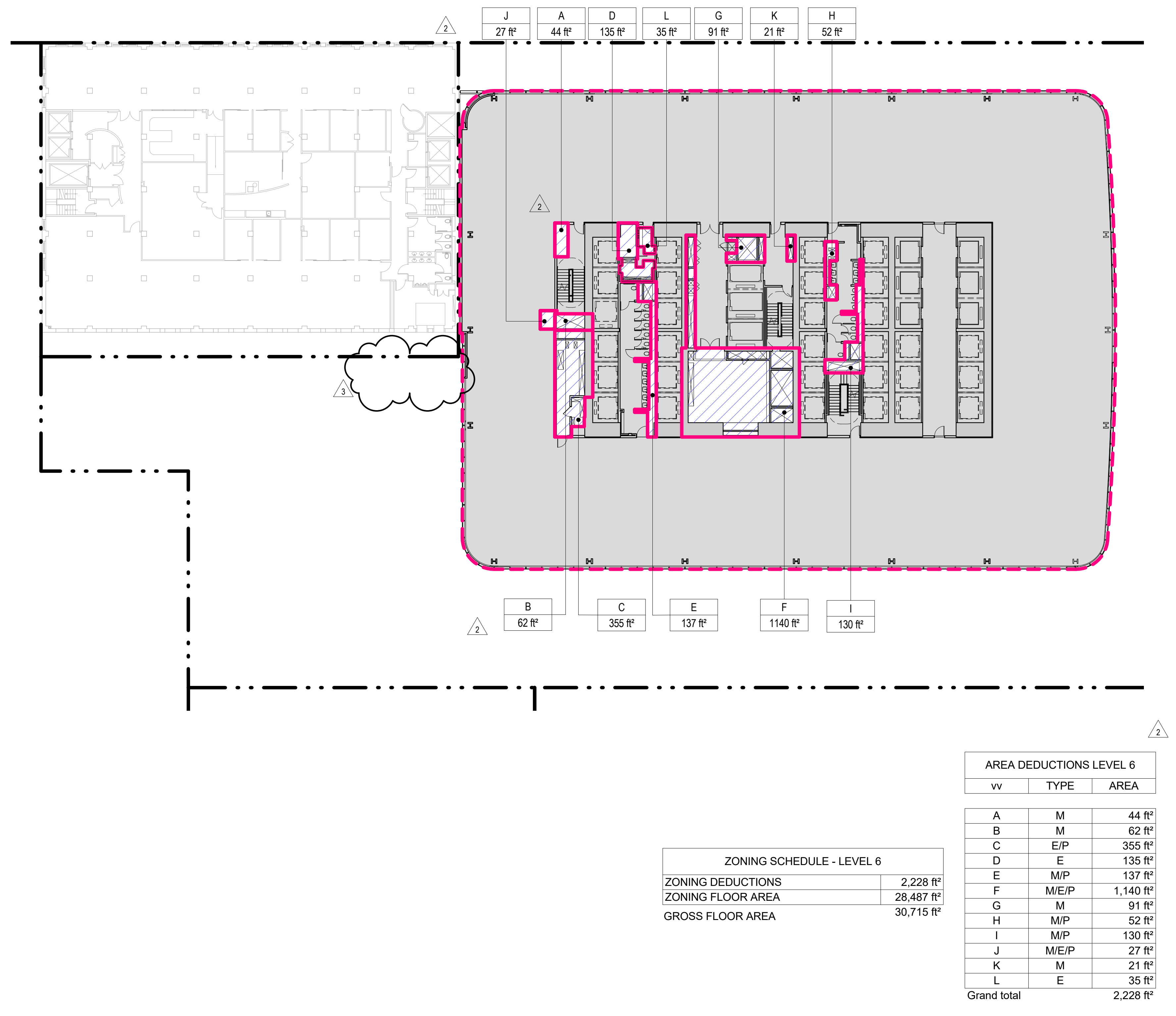
### 1 LEVEL 5 PLAN

SCALE: 1" = 20'-0"



### 2 LEVEL 6 PLAN

SCALE: 1" = 20'-0"



## GENERAL NOTES

### ZONING LEGENDS

- GROSS BUILDING AREA
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Key Plan:

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Daniel Titus  
REGISTERED ARCHITECT  
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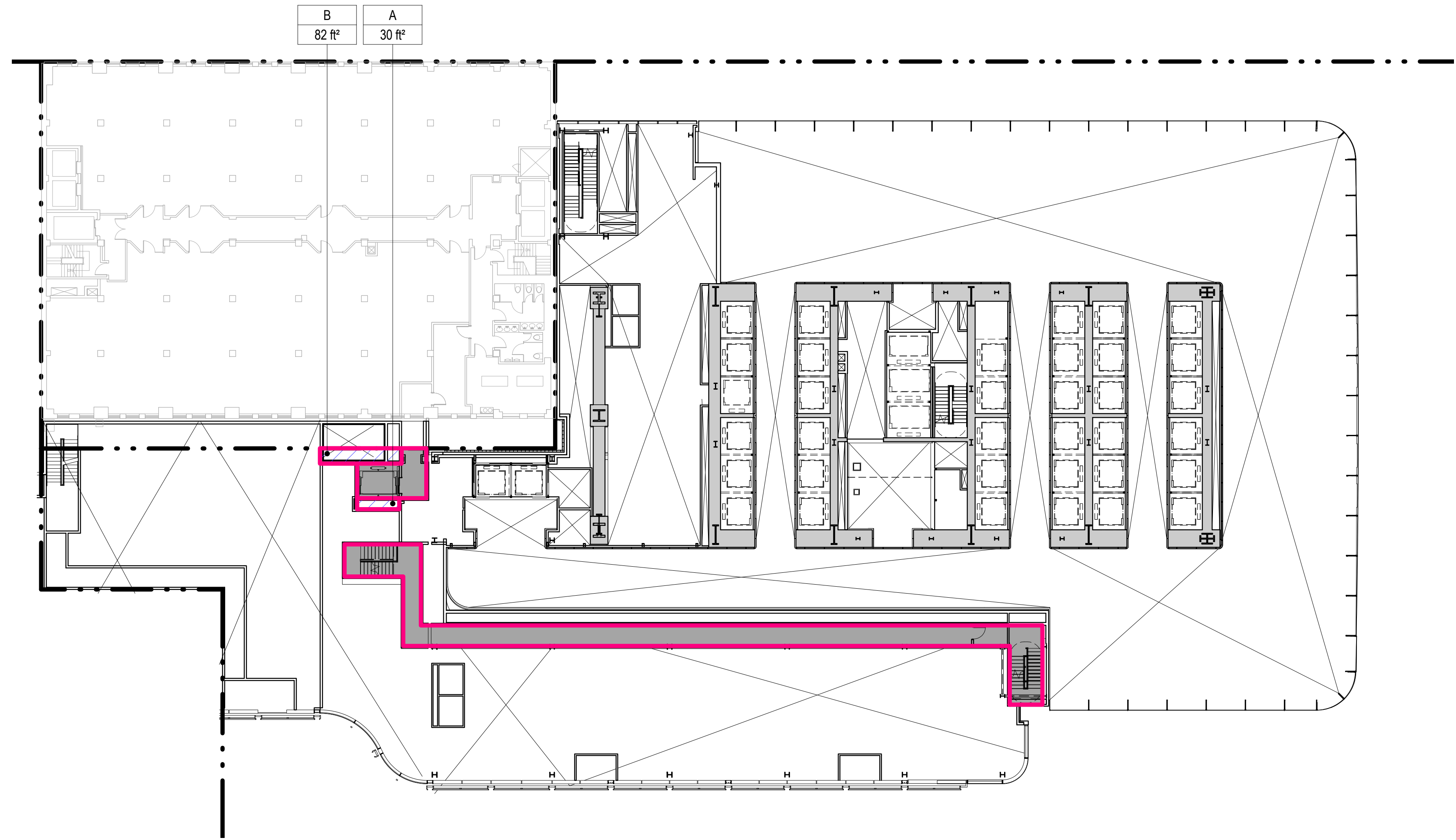
ZONING FLOOR AREA DEDUCTIONS - LEVEL 5-8

Project No.: 207150  
B-SCAN Sheet No.: Z-105.03

Date: 23 AUG 2017  
Scale: As indicated  
File No: Z-105

Sheet No.: Z-105  
Page No.: 12 OF





| ZONING SCHEDULE - LEVEL 1M LOT 60 |           |
|-----------------------------------|-----------|
| RETAIL                            | 1,377 ft² |
| ZONING DEDUCTIONS                 | 112 ft²   |
| ZONING GRAND TOTAL                | 1,489 ft² |

| AREA DEDUCTIONS LEVEL 1M LOT 60 |      |         |
|---------------------------------|------|---------|
| NAME                            | TYPE | AREA    |
| A                               | M    | 30 ft²  |
| B                               | M    | 82 ft²  |
| Grand total                     |      | 112 ft² |

**1** LEVEL 1M PLAN  
SCALE: NTS

- ZONING LEGENDS**
- GROSS BUILDING AREA
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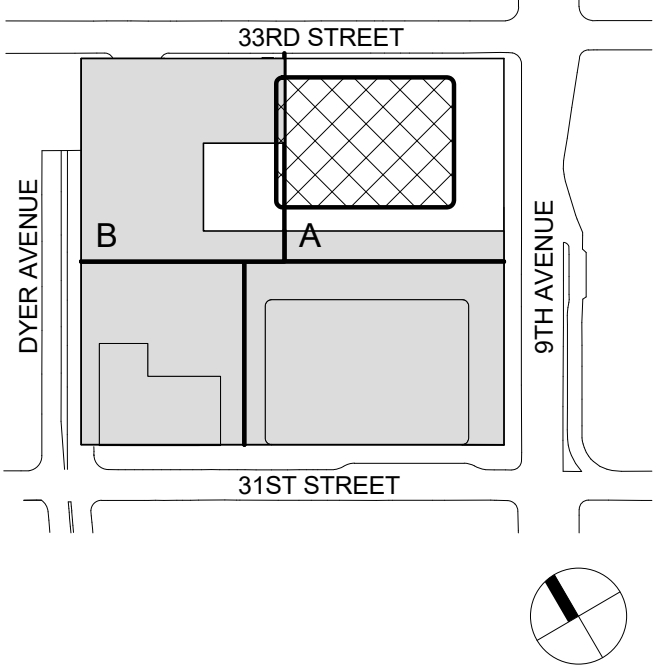
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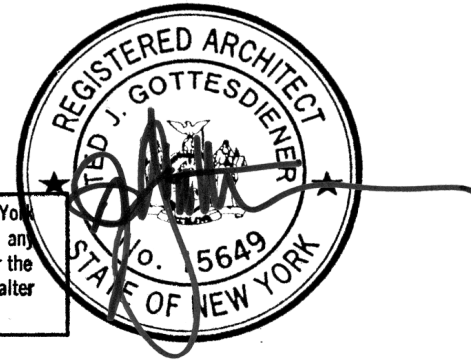
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**Rowan Williams Davies & Irwin Inc.**  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B6

Key Plan:



Seal & Signature:



Warning: It is a violation of the New York State Architecture Law, §20-100, for any person, unless they are acting under the direction of a Licensed Architect, to alter this drawing in any way.

**Damian Titus**  
Buildings  
**APPROVED**  
Under Directive 2 of 2015  
INTEROFFICIAL DECISION  
Date: 12/28/2017  
**NYC Development Hub**

**ZONING FLOOR  
AREA  
DEDUCTIONS -  
LEVEL 1M**

Project No.: 207150  
Date: 23 AUG 2017  
Scale: As indicated  
File No: Z-122

B-SCAN Sheet No.: **Z-122.00**  
Sheet No.: Z-122  
Page No.: